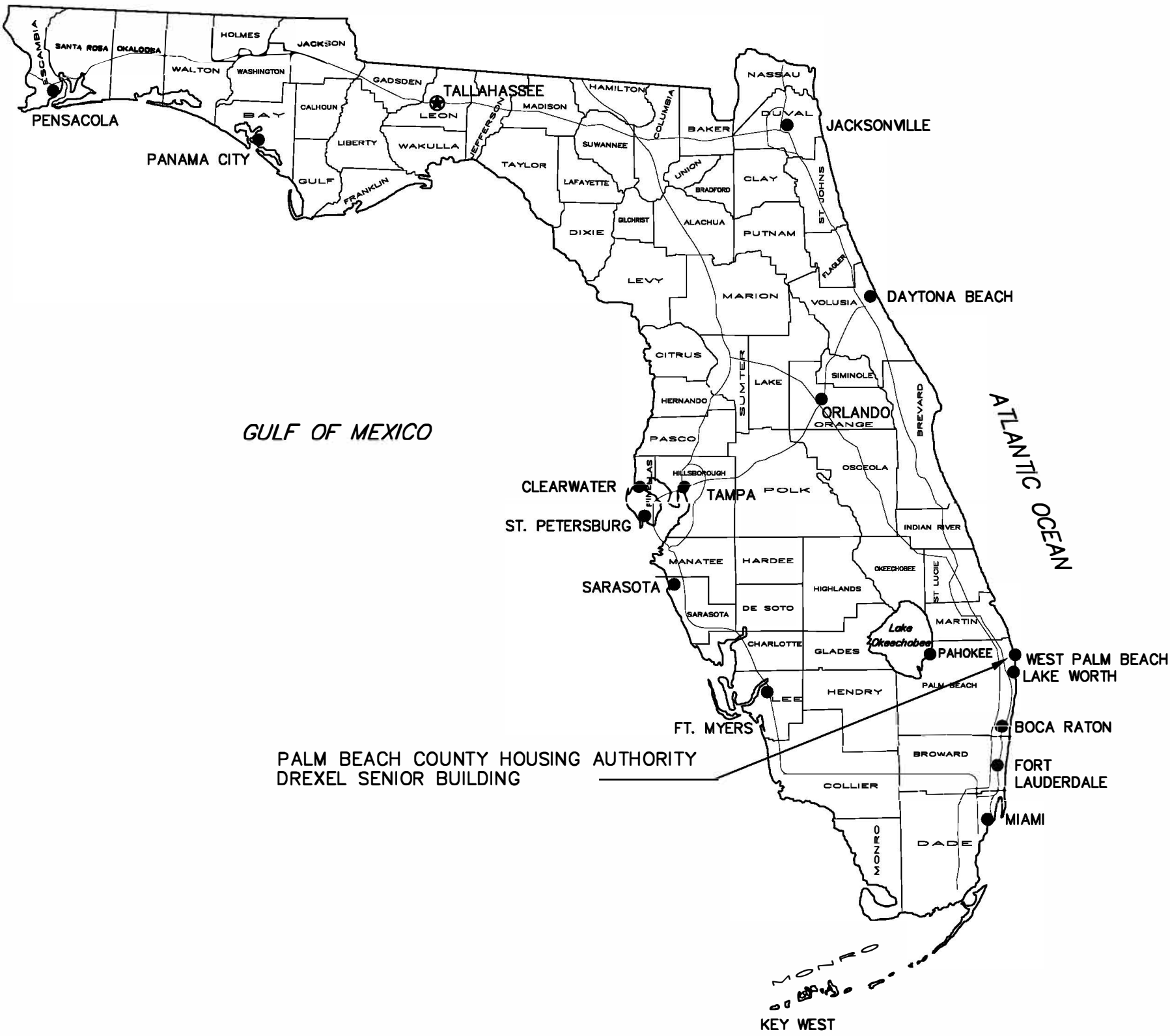
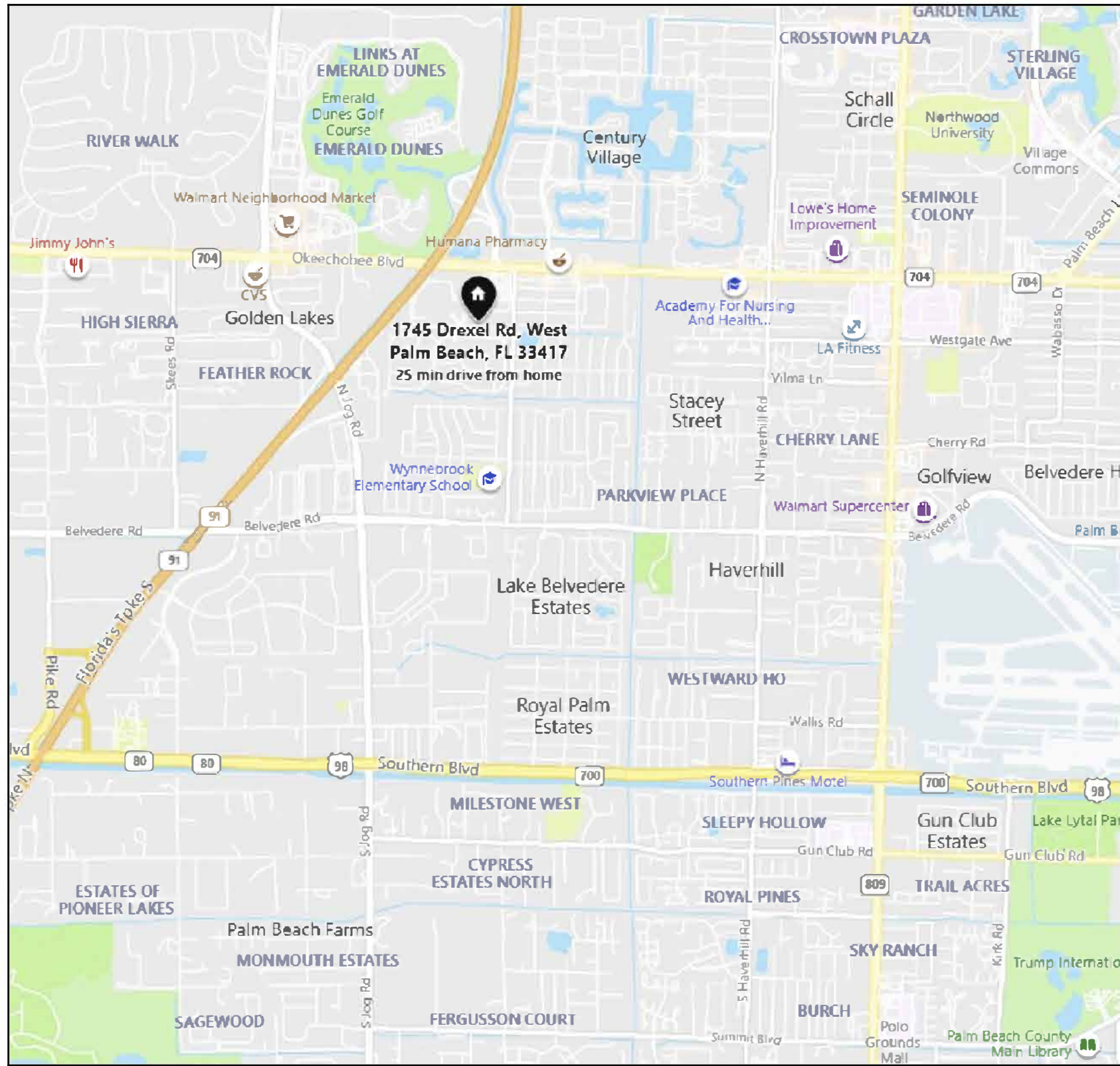


PALM BEACH COUNTY HOUSING AUTHORITY
DREXEL SENIOR BUILDING FLAT ROOF
+ APT HVAC REPLACEMENT PROJECT

DREXEL SENIOR BLDG
WEST PALM BEACH, FLORIDA 33415
PROJECT NUMBER KD-20719

PALM BEACH COUNTY HOUSING AUTHORITY
EXECUTIVE DIRECTOR – CAROL JONES-GILBERT



BUILDING CODE SUMMARY			
NAME OF PROJECT: DREXEL SENIOR BUILDING FLAT ROOF AND APT HVAC REPLACEMENT			
ADDRESS: 1745 DREXEL ROAD			
WEST PALM BEACH, FL 33417			
CONTACT PERSON: KIM DELLASTATIOUS		PHONE: 561.582.5622	
CODE ENFORCEMENT JURISDICTION: PALM BEACH COUNTY			
APPLICABLE CODES:			
ARCHITECTURAL	2020 7TH EDITION FBC BUILDING		
	2020 7TH EDITION FBC EXISTING BUILDINGS		
	CLASSIFICATION OF WORK: RE-ROOF, REPLACEMENT OF APT AC UNITS		
WIND LOADS: ASCE 7 (10) 170 MPH 3 SECOND WIND VELOCITY, I = 1.0, EXPOSURE C			
PROFESSIONAL OF RECORD:			
PROFESSIONAL	NAME	LICENSE #	TELEPHONE #
ARCHITECTURAL	KIMBERLY A. DELLASTATIOUS, P.A.	AR 0011556	561-582-5622
BUILDING DATA:			
OCCUPANCY:	<input type="checkbox"/> ASSEMBLY <input type="checkbox"/> BUSINESS <input type="checkbox"/> EDUCATIONAL <input type="checkbox"/> MERCANTILE <input type="checkbox"/> HAZARDOUS <input type="checkbox"/> DAYCARE <input type="checkbox"/> STORAGE <input checked="" type="checkbox"/> RESIDENTIAL-R2 <input type="checkbox"/> INSTITUTIONAL (UNRESTRAINED)		
MIXED OCCUPANCY:	YES	NO	SEPARATION: _____ HR.
SPRINKLERED:	YES	NO	(B, BR, BO)
BUILDING HEIGHT:	±52'-0" FEET "FOUR STORIES" NUMBERS OF STORIES		
CBS CONSTRUCTION, CONC FLOORS, AND WOOD ROOF TRUSS SYSTEM ON CONCRETE DECK			



PROJECT DATA

PROJECT NO. 20710
DATE: MARCH, 2021
SHEET 1 OF 19 SHEETS

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COVER SHEET
PBCHA - DREXEL SENIOR BUILDING
FLAT DECK AND APT HVAC REPLACEMENT
1745 DREXEL ROAD, WEST PALM BEACH, FLORIDA 33417

SUBMITTAL DATES

TO CLIENT

PROGRESS PRINT DATE

REVISION DATES

DRAWN

KD

CHECKED

KD

DATE 03.01.21

SCALE AS SHOWN

PROJECT NO. 20719

SHEET

COVER
SHEET

A001

DREXEL APARTMENTS SENIOR BUILDING FLAT DECK BEROOOF AND APT HVAC REPLACEMENT PROJECT

ARCHITECT:

KIMBERLY A. DELLASTATIOUS, P.A.

802 W WINDWARD WAY, #308

LANTANA, FLORIDA 33462

TEL: 561.592.5622 CELL: 561.722.9822

CONTACT: KIM DELLASTATIOUS

EMAIL: KIMDELL@KD-ARCHITECT.COM

FL LIC AR0011556

OWNER:

PALM BEACH COUNTY HOUSING AUTHORITY

3432 WEST 45TH STREET

WEST PALM BEACH, FL 33407

ARCHITECT'S STATUS:

A. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL, OR CHARGE OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND HE OR SHE WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL NOT BE RESPONSIBLE OR HAVE CONTROL OR CHARGE OVER THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OF THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.

THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING AND ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. KIMBERLY A. DELLASTATIOUS, P.A. AND ITS PROFESSIONALS, CONSULTANTS, INSPECTORS, AND EMPLOYEES ARE NOT RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION OR FOR RELATED SAFETY PROGRAMS.

CODES:

A. ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN THE CONSTRUCTION OF THE PROJECT, INCLUDING ALL APPLICABLE STATE, CITY AND COUNTY BUILDING, ZONING, ELECTRICAL, PLUMBING, LIFE SAFETY AND FIRE CODES. CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS AND BRING ANY DISCREPANCY BETWEEN THE CODES AND THE CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE ARCHITECT.

PERMITS:

A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING AND TRADE PERMITS, RECORDING OF THE P&P BONDS, AND FOR NOC RECORDINGS, AND FOR THEIR RESPECTIVE COSTS. ALLOWANCE LINE ITEM BUDGET IS ONLY FOR ACTUAL COUNTY COSTS AND NOT FOR THE COSTS OF PERMIT RUNNERS OR CONTRACTOR'S ADMINISTRATION COSTS.

CONSTRUCTION DOCUMENTS / JOB CONDITIONS:

A. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTAL OF BID AND / OR CONTRACT NEGOTIATIONS. HE SHALL VERIFY EXISTING CONDITIONS WITH THE CONSTRUCTION DOCUMENTS. DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IN WRITING FOR CLARIFICATION. BIDS SHALL NOT BE SUBMITTED OR CONSTRUCTION CONTRACTS NEGOTIATED BY THE CONTRACTOR PRIOR TO CLARIFICATION OF THE INTENT OF THE CONSTRUCTION DOCUMENTS WHERE SUCH INTENT IS IN DOUBT. BACK CHARGES WILL NOT BE ACCEPTED.

B. DIMENSIONS AND NOTES SHALL TAKE PRECEDENCE OVER SCALE AND GRAPHICS. DO NOT SCALE DRAWINGS.

C. IF WORK IS BEING PERFORMED IN AN EXISTING BUILDING AND / OR AS AN ADDITION OR ALTERATION(S) TO AN EXISTING BUILDING, THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS WITH REFERENCE TO ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL SYSTEMS. ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IN WRITING PRIOR TO THE SUBMISSION OF BIDS OR CONTRACT NEGOTIATIONS. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK BY TRADES, SUPPLIERS, SUBCONTRACTORS AND OTHER PROVIDERS TO INSURE THAT THE WORK, WHEN COMPLETED WILL BE IN ACCORDANCE WITH THE INTENT OF THE CONSTRUCTION DOCUMENTS.

D. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL AND NON-STRUCTURAL MEMBERS DURING CONSTRUCTION.

E. CERTAIN MATERIAL TAKE OFF QUANTITIES ARE PRESENTED ON THE DRAWINGS (IE: ROOF AREAS, SOFFIT AREAS, FASCIA BOARD LENGTHS, ETC.). THESE QUANTITIES ARE SOLELY FOR THE PURPOSE OF GIVING A PRELIMINARY PROJECT SCOPE OF WORK. THEY DO NOT INCLUDE WASTE FACTORS, ETC. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DOING A PROPER MATERIALS TAKE OFF FOR HIS BIDDING OF THE WORK AND FOR HIS COMPLETION OF CONSTRUCTION AS QUANTITIES PERTAINING TO THE PROJECT.

WORK NECESSARY TO COMPLETE CONSTRUCTION:

A. IT IS THE PURPOSE OF THESE PLANS AND SPECIFICATIONS TO DESCRIBE A COMPLETE AND FINISHED PROJECT OTHER THAN ITEMS MARKED "N.I.C." (NOT IN CONTRACT)

COORDINATION NOTE:

A. THIS ENTIRE DRAWING SET IS TO BE READ AS ONE COMPLETE PACKAGE. ARCHITECTURAL SHEETS, STRUCTURAL SHEETS, AND MEP SHEETS IF PART OF ORIGINAL SET, SHALL ALL BE READ TOGETHER IN THEIR ENTIRETY. IF CONTRACTOR FINDS CONFLICTS IN THE INDIVIDUAL TRADE'S DRAWINGS, BRING THIS TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING OR ORDERING MATERIALS.

CLEAN UP / REPAIR:

A. THE CONTRACTOR SHALL MAINTAIN THE PREMISE CLEAN AND FREE OF ALL DEBRIS, AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, PAINT OVER-SPRAY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING FLOORS, ETC., SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.

B. THE CONTRACTOR SHALL REPAIR AND / OR REPLACE ALL ITEMS DAMAGED BY THE PROCESS OF CONSTRUCTION AND SHALL FINISH ALL PATCHWORKS AND REPAIRS TO MATCH ADJACENT AREAS AND SURFACES.

SHOP DRAWINGS:

A. THE CONTRACTOR SHALL SUBMIT THREE COPIES OF ALL SHOP DRAWINGS, OR THE CONTRACTOR MAY SUBMIT A DIGITAL FILE OF THE SHOP DRAWING. IF DIGITAL FILES ARE SUBMITTED, AT JOB CLOSEOUT, CONTRACTOR SHALL SUBMIT THE FINAL HARD COPIES OF THE FINAL DIGITAL SUBMITTAL.

B. SUBMIT ALL FABRICATED ITEMS AND EQUIPMENT FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION AND COMMENCEMENT OF THE WORK. SUBMIT ROOFING MATERIALS / PAINT / VENTS / STRUCTURAL CLIPS AND FASTENERS / ALL SHALL PROVIDE SHOP DRAWINGS FOR ALL PRODUCTS TO BE INSTALLED. WHERE REQUIRED BY DRAWING NOTES, SUBMIT MANUFACTURER'S INSTALLATION GUIDELINES AND FLORIDA OR MIAMI DADE PRODUCT APPROVAL NOTICES.

C. GENERAL CONTRACTOR SHALL STAMP AND SIGN ALL SHOP DRAWINGS "APPROVED" PRIOR TO SUBMITTING THEM TO ARCHITECT. ARCHITECT WILL NOT REVIEW SHOP DRAWINGS WITHOUT THE CONTRACTOR SIGNING THEM AS APPROVED AND REVIEWED.

SECTION AND DETAILS

ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE U.N.O.

WORK DAYS:

A. THE CONTRACT TIME LINE IS REFEREED TO AS CALENDAR DAYS. SATURDAYS, SUNDAYS, AND RECOGNIZED HOLIDAYS ARE NOT CONSIDERED WORK DAYS, EVEN THOUGH THEY ARE COUNTED AS CALENDAR DAYS. THE CONTRACTOR IS ONLY ALLOWED TO WORK M-F (EXCLUSIVE OF HOLIDAYS), 8AM – 5PM.

BUILDING CLASSIFICATION:

FBC 2020 CHAPTER 3, EXISTING GROUP R-2 OCCUPANCY TABLE 504, TYPE V-A LIMITED TO 60' HEIGHT 4 STORIES ABOVE GRADE, AND 12,000 S.F. PER FLOOR. BUILDING IS FIRE SPRINKLERED,

WIND LOADS AS PER FLORIDA BUILDING CODE, 2020, 7TH EDITION AND ANSI/ASCE 7-10 AND AMENDMENTS

CODE EDITION: FL Building Code 2020, 7TH EDITION

EXISTING BUILDING CODE - REPAIRS, + ROOF PER 503.1

BID SET 03.01.21

**KIMBERLY A.
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INDEX AND GENERAL NOTES
PBCHA - DREXEL SENIOR BUILDING
FLAT DECK AND APT HVAC REPLACEMENT
 1745 DREXEL ROAD, WEST PALM BEACH, FLORIDA 33417

SUBMITTAL DATES

TO CLIENT

PROGRESS PRINT DATE

REVISION DATES

DRAWN K.D.

CHECKED

DATE _____

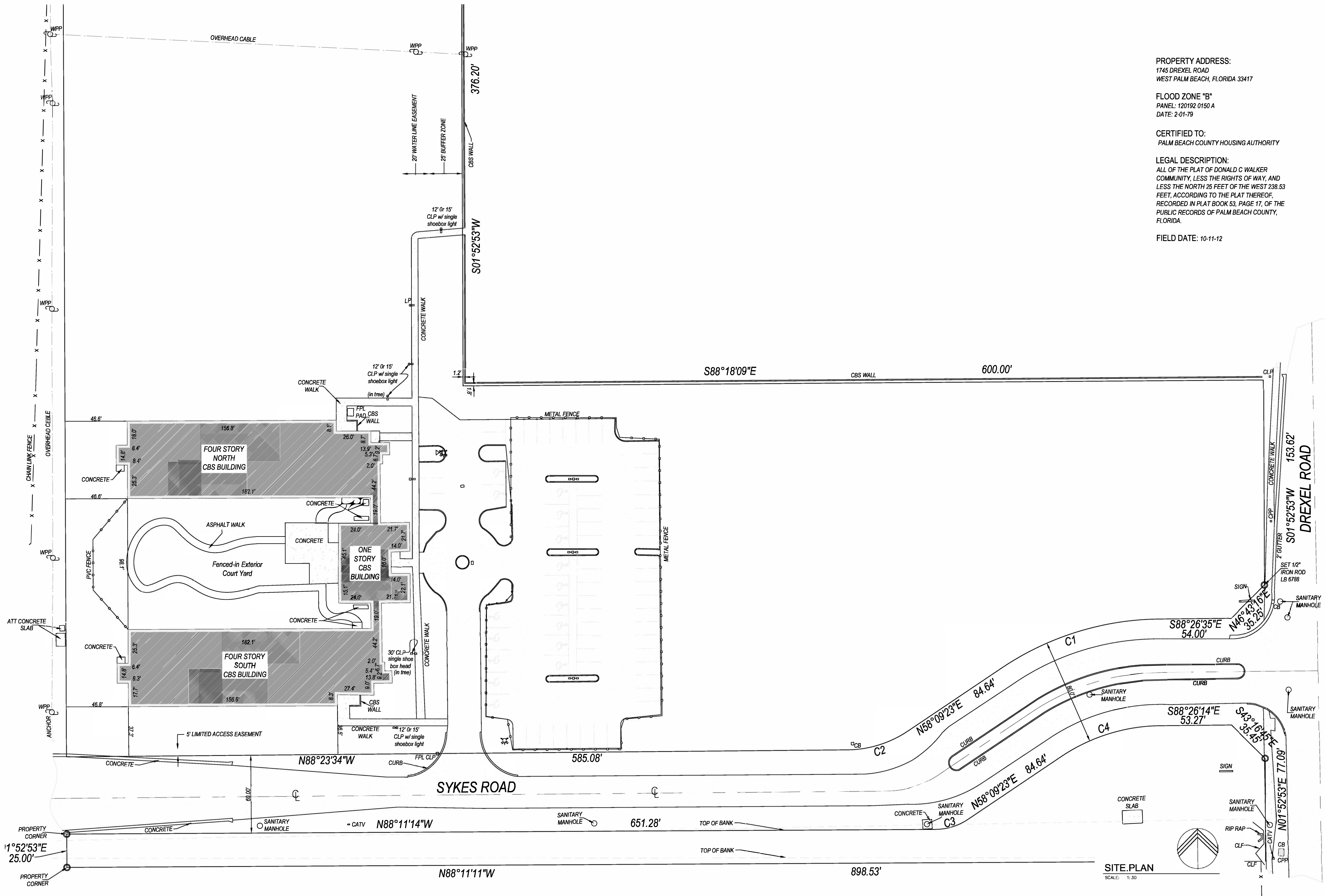
03.01.21
SCALE

AS SHOWN

PROJECT NO.
20719

SHEET

GENERAL
NOTES +
DRAWING
INDEX
A002



PROPERTY ADDRESS:
1745 DREXEL ROAD
WEST PALM BEACH, FLORIDA 33417

FLOOD ZONE "B"
PANEL: 120192 0150 A
DATE: 2-01-79

CERTIFIED TO:
PALM BEACH COUNTY HOUSING AUTHORITY

LEGAL DESCRIPTION:
ALL OF THE PLAT OF DONALD C WALKER
COMMUNITY, LESS THE RIGHTS OF WAY, AND
LESS THE NORTH 25 FEET OF THE WEST 238.53
FEET, ACCORDING TO THE PLAT THEREOF,
RECORDED IN PLAT BOOK 53, PAGE 17, OF THE
PUBLIC RECORDS OF PALM BEACH COUNTY,
FLORIDA.

FIELD DATE: 10-11-12

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EXISTING BUILDING SITE PLAN
PBCHA - DREXEL SENIOR BUILDING
FLAT DECK AND APT HVAC REPLACEMENT
1745 DREXEL ROAD, WEST PALM BEACH, FLORIDA 33417

SUBMITTAL DATES
TO CLIENT

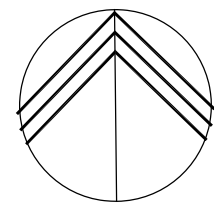
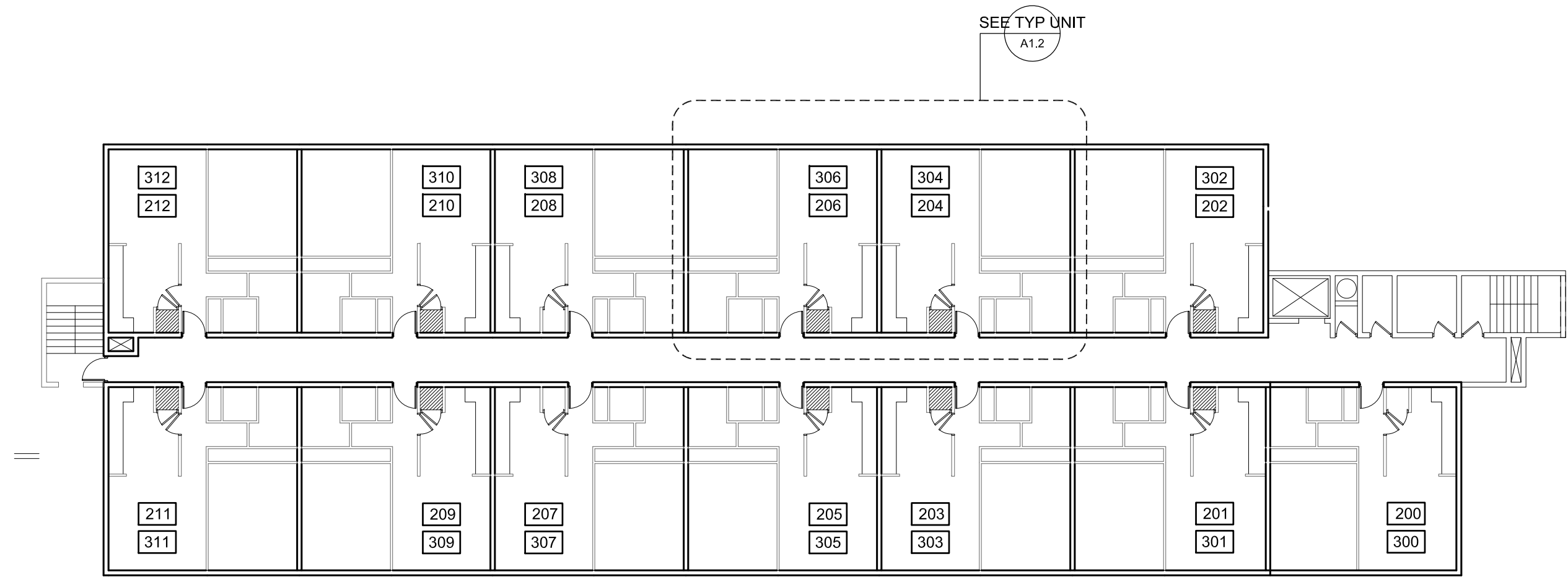
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REVISION DATES

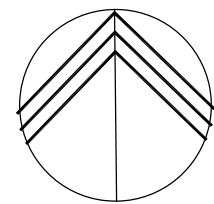
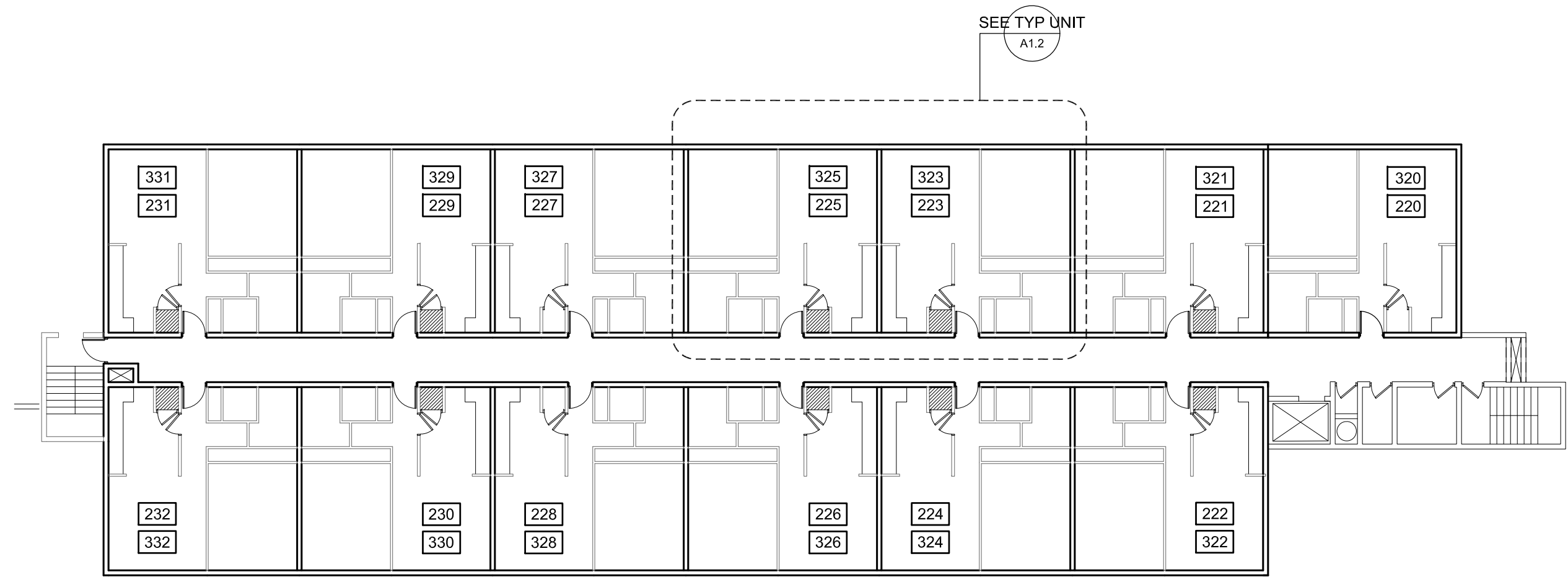
DRAWN KD
CHECKED KD
DATE 03.01.21
SCALE AS SHOWN
PROJECT NO. 20719
SHEET

SITE PLAN

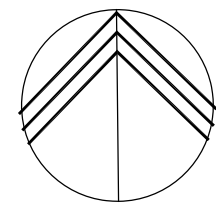
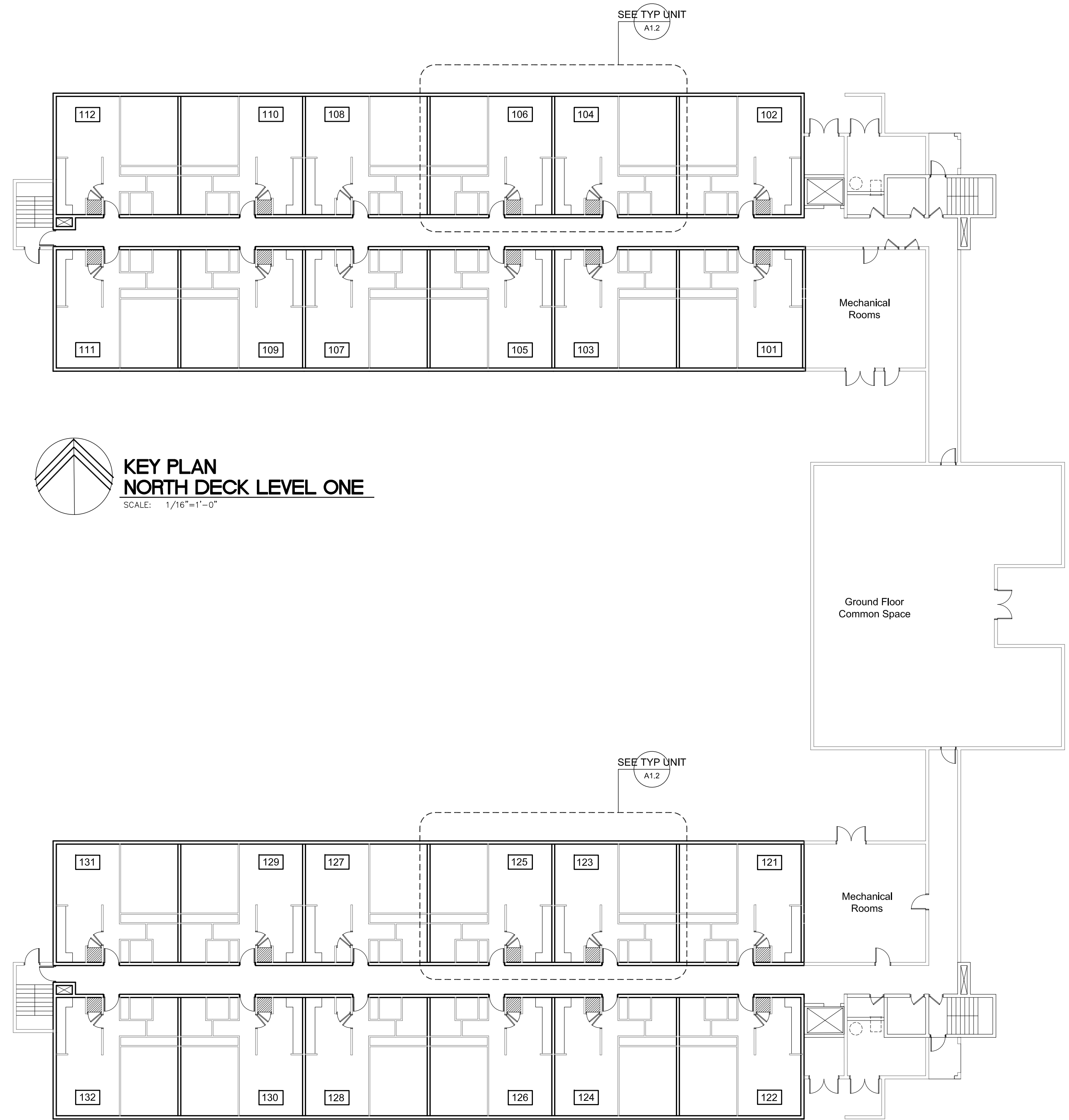
SP1.0



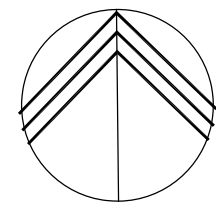
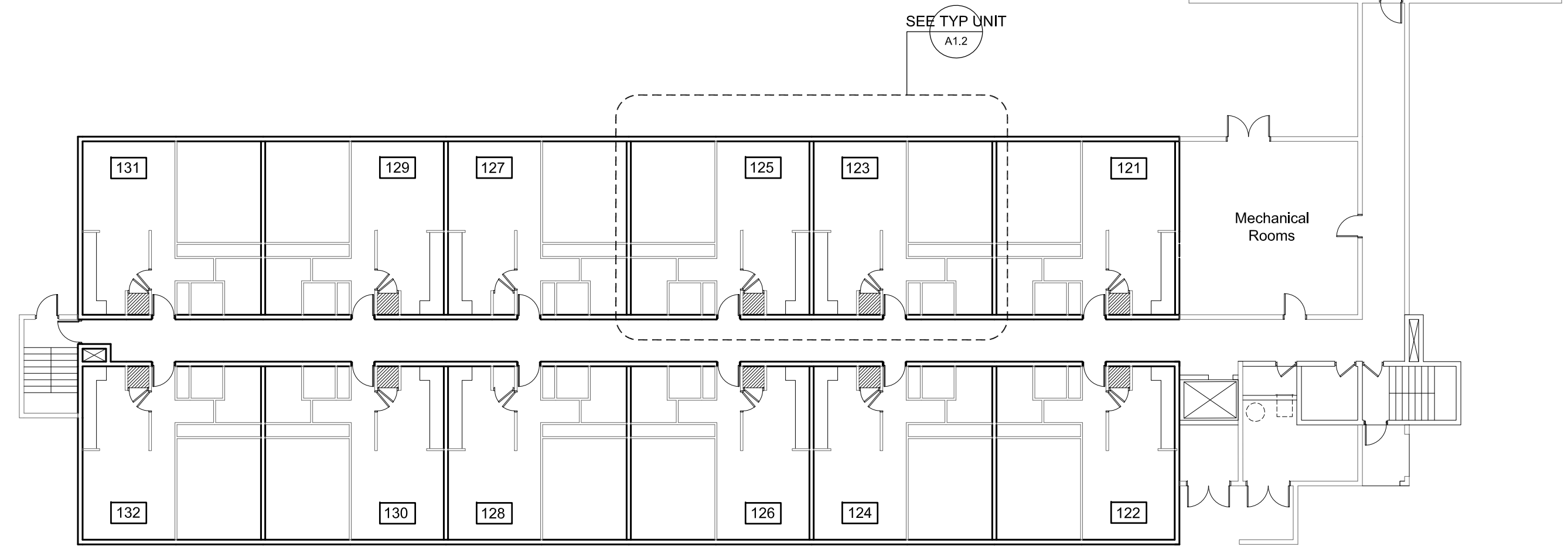
KEY PLAN
NORTH DECK LEVEL TWO AND THREE
SCALE: 1/16"=1'-0"



KEY PLAN
SOUTH DECK LEVEL TWO AND THREE
SCALE: 1/16"=1'-0"



KEY PLAN
NORTH DECK LEVEL ONE
SCALE: 1/16"=1'-0"



KEY PLAN
SOUTH DECK LEVEL ONE
SCALE: 1/16"=1'-0"

LEVEL ONE, TWO, + THREE KEY PLAN
PBCHA - DREXEL SENIOR BUILDING
FLAT DECK AND APT HVAC REPLACEMENT
1745 DREXEL ROAD, WEST PALM BEACH, FLORIDA 33417

SUBMITTAL DATES

TO CLIENT

PROGRESS PRINT DATE

REVISION DATES

DRAWN KD

CHECKED KD

DATE 03.01.21

SCALE AS SHOWN

PROJECT NO. 20719

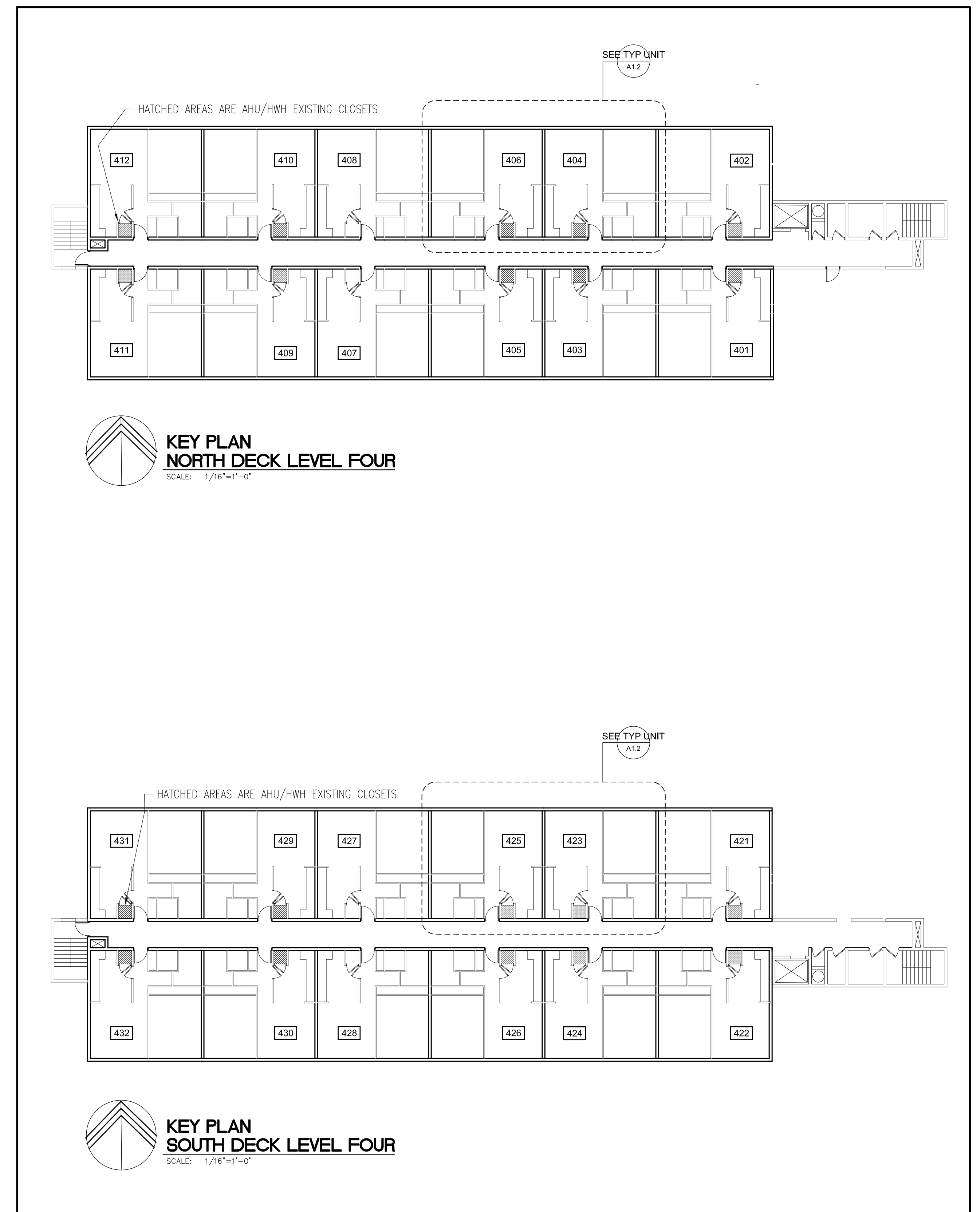
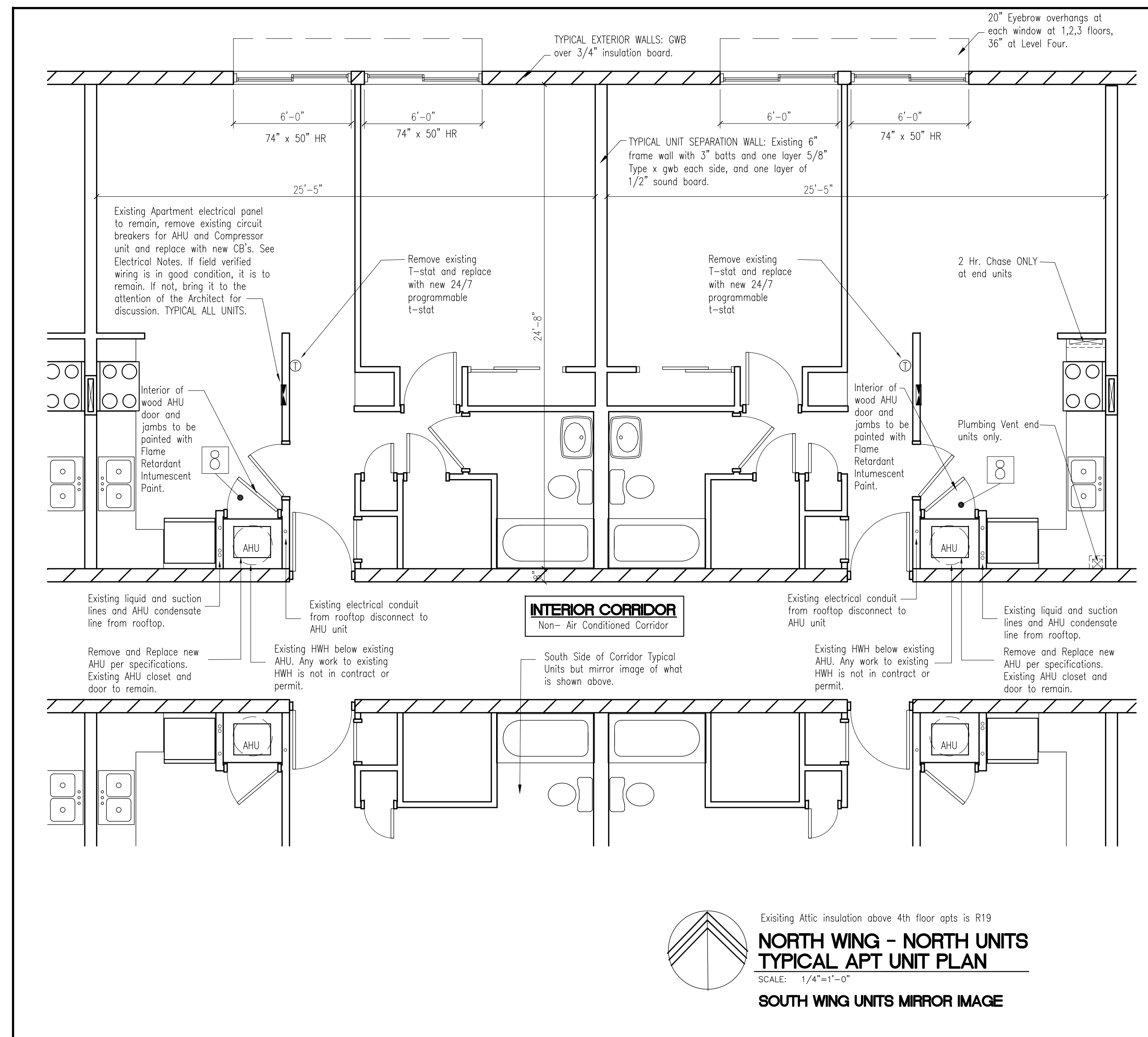
SHEET

KEY PLAN

LEVEL ONE,

TWO, THREE

A1.1



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0011556

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LEVEL FOUR KEY PLAN / TYP UNIT LAYOUT

SUBMITTAL DATES

0 CLIENT

PROGRESS PRINT DATE

REVISION DATES

AWN KD

HECKED

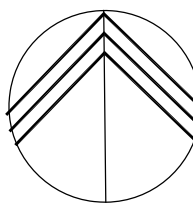
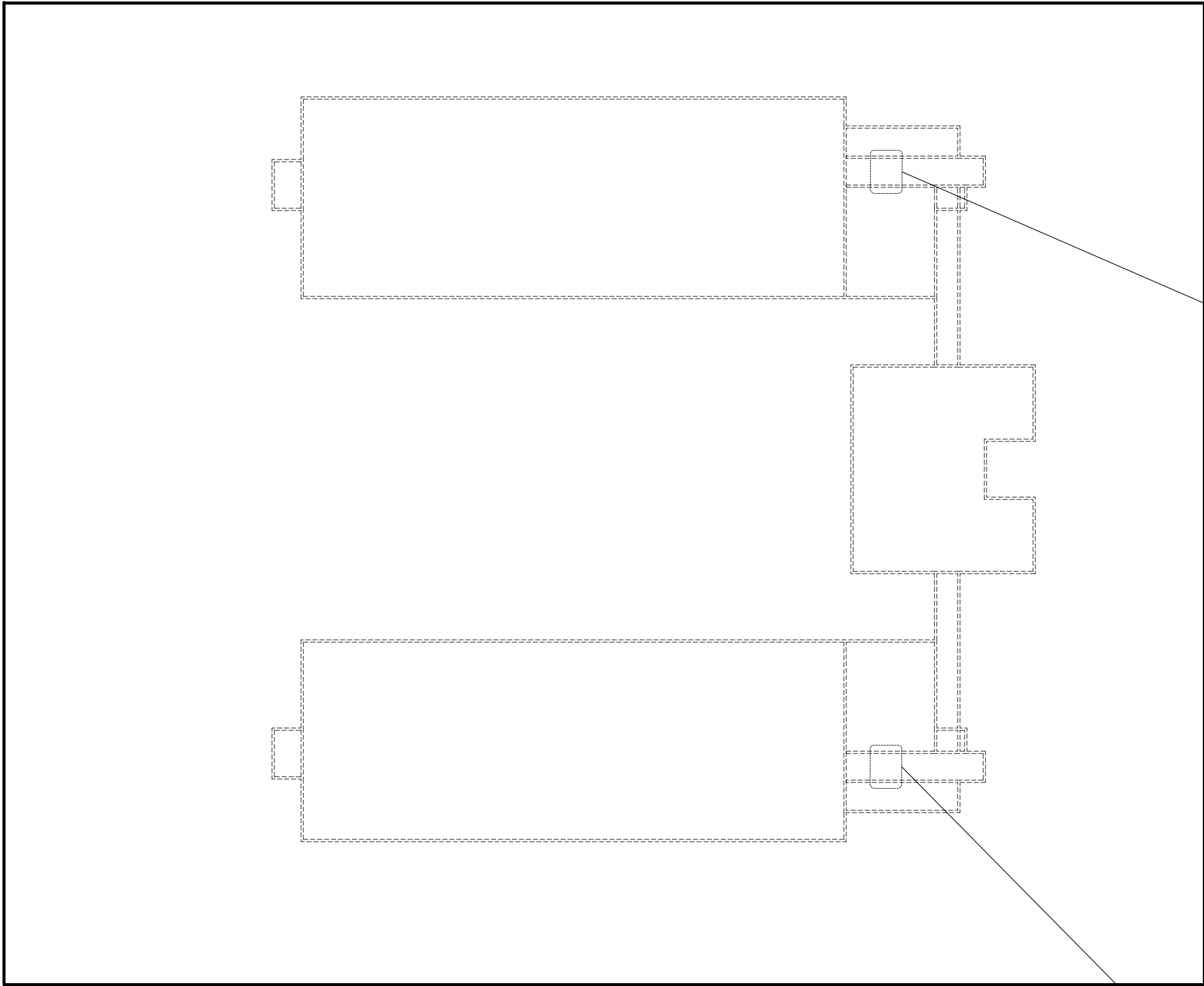
KD

03.01.21

AS SHOWN

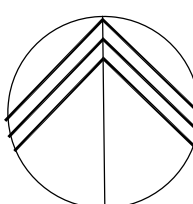
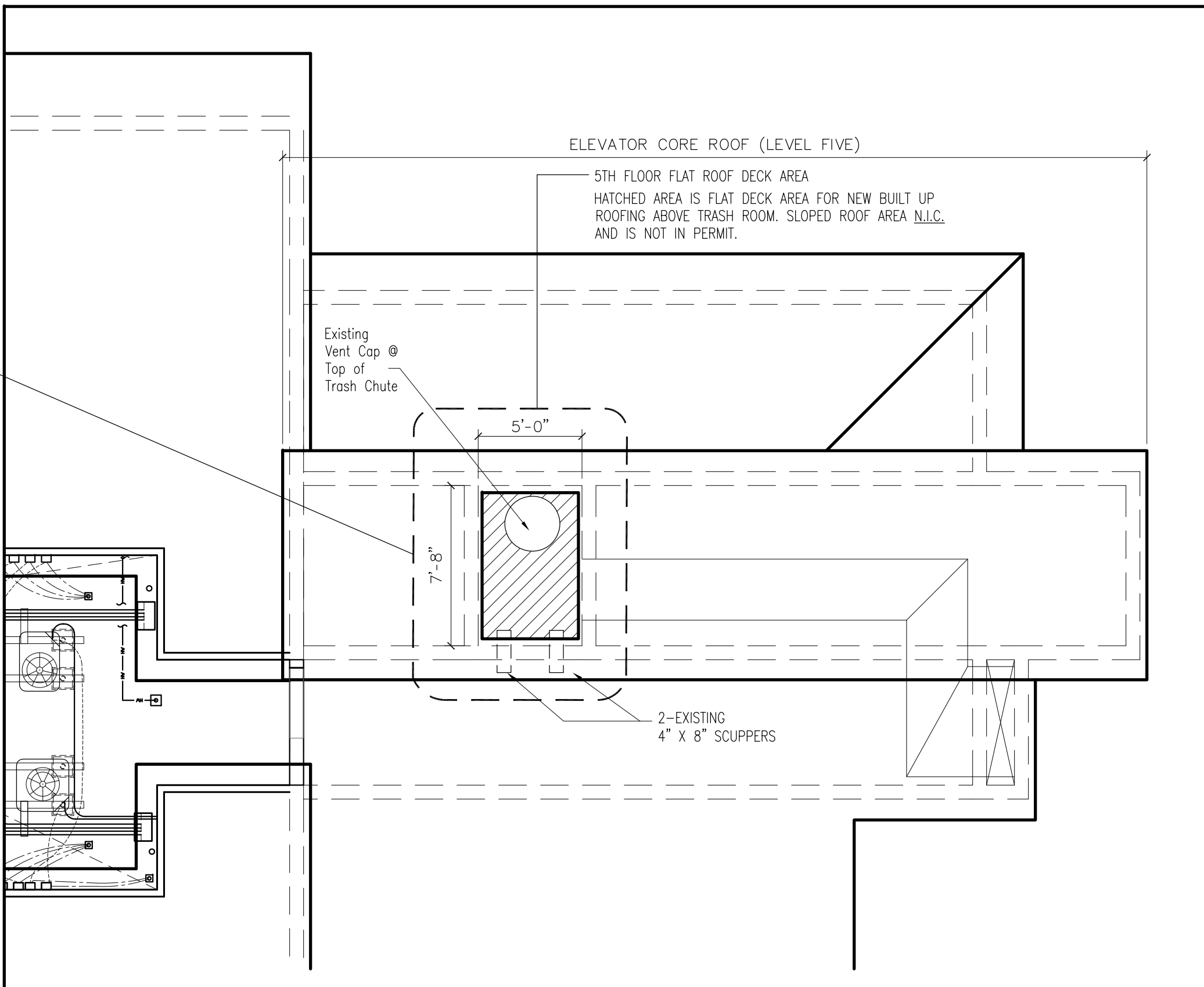
20719

KEY PLAN
LEVEL FOUR
+ TYP UNIT
PLAN
A1.2



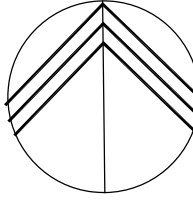
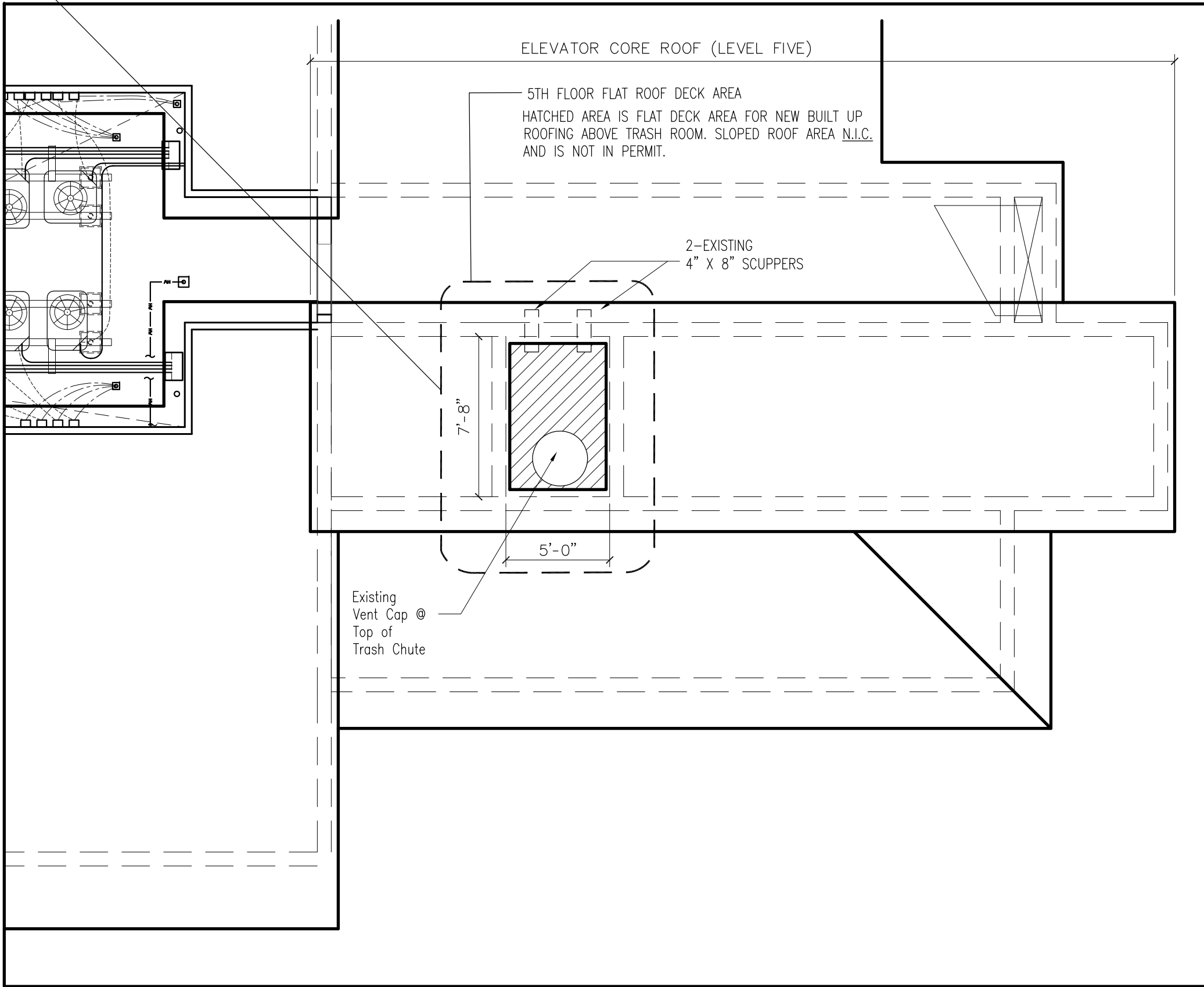
(ELEVATOR STAIR COOR)
LEVEL FIVE ROOF DECK KEY

SCALE: N.T.S.



FLAT DECK ROOF WORK
NORTH DECK LEVEL FIVE

SCALE: 3/16"=1'-0"



FLAT DECK ROOF WORK
SOUTH DECK LEVEL FIVE

SCALE: 3/16"=1'-0"

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LEVEL FIVE FLAT ROOF PLAN
PBCHA - DREXEL SENIOR BUILDING
FLAT DECK AND APT HVAC REPLACEMENT
1745 DREXEL ROAD, WEST PALM BEACH, FLORIDA 33417

SUBMITTAL DATES

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DRAWN KD

CHECKED KD

DATE 03.01.21

SCALE AS SHOWN

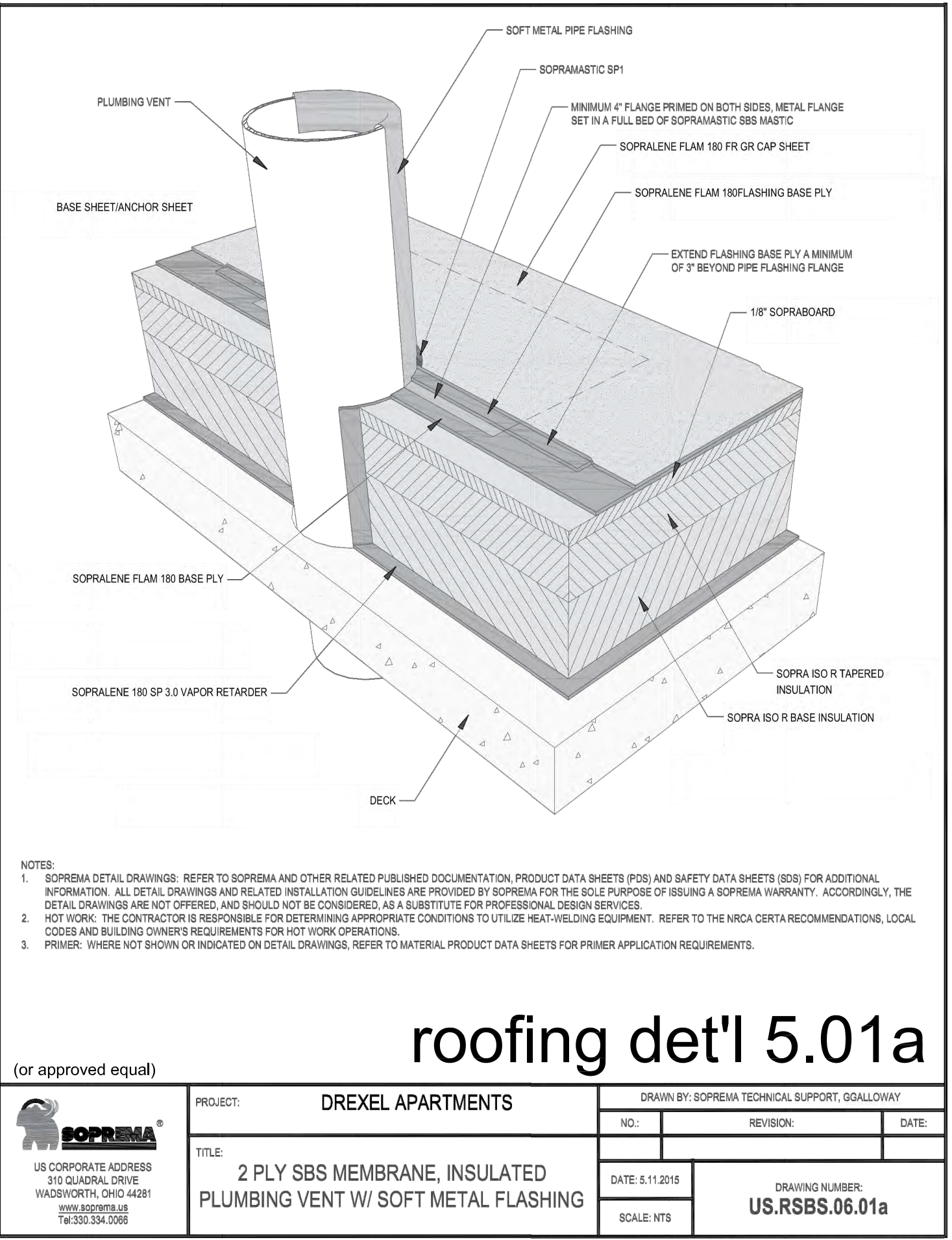
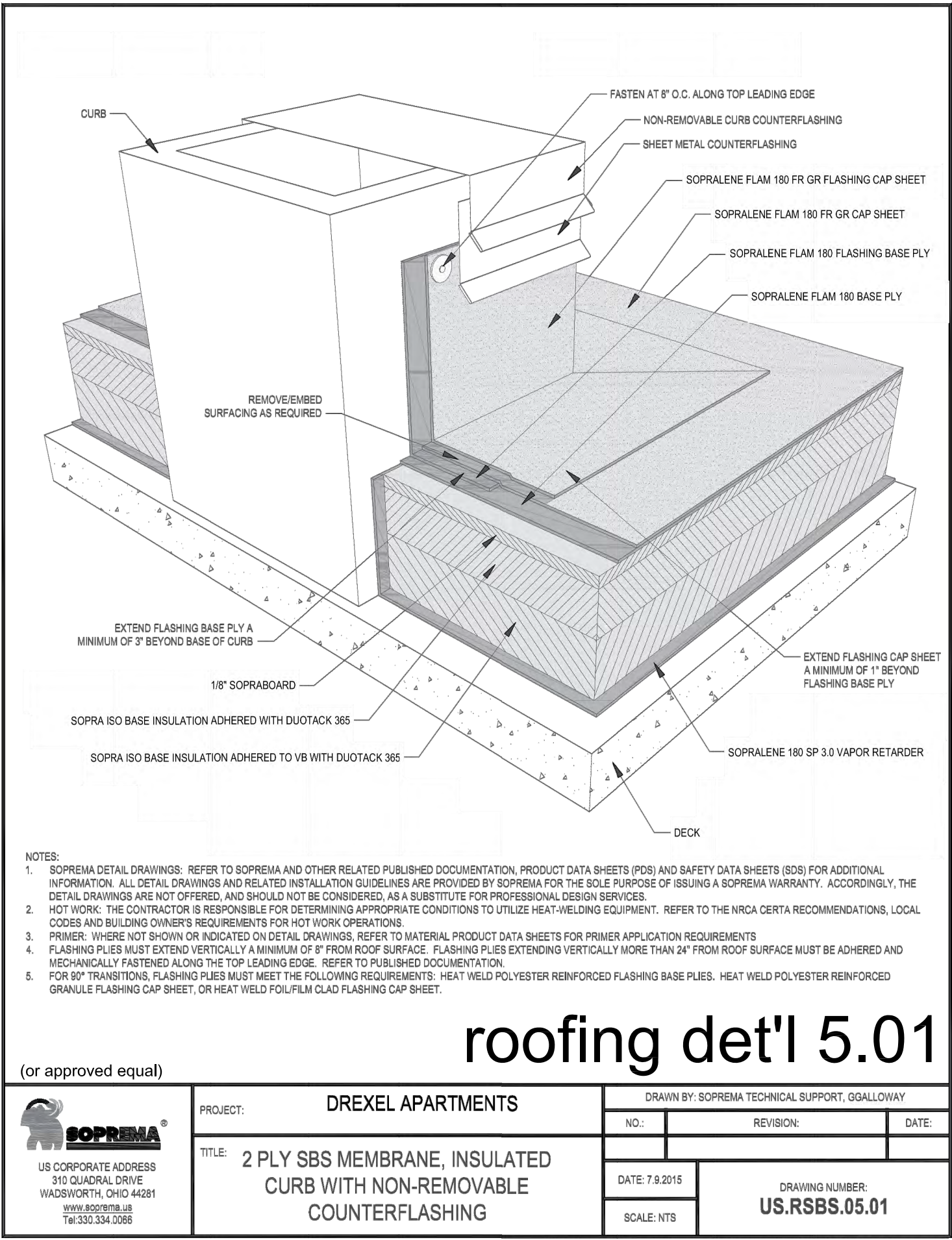
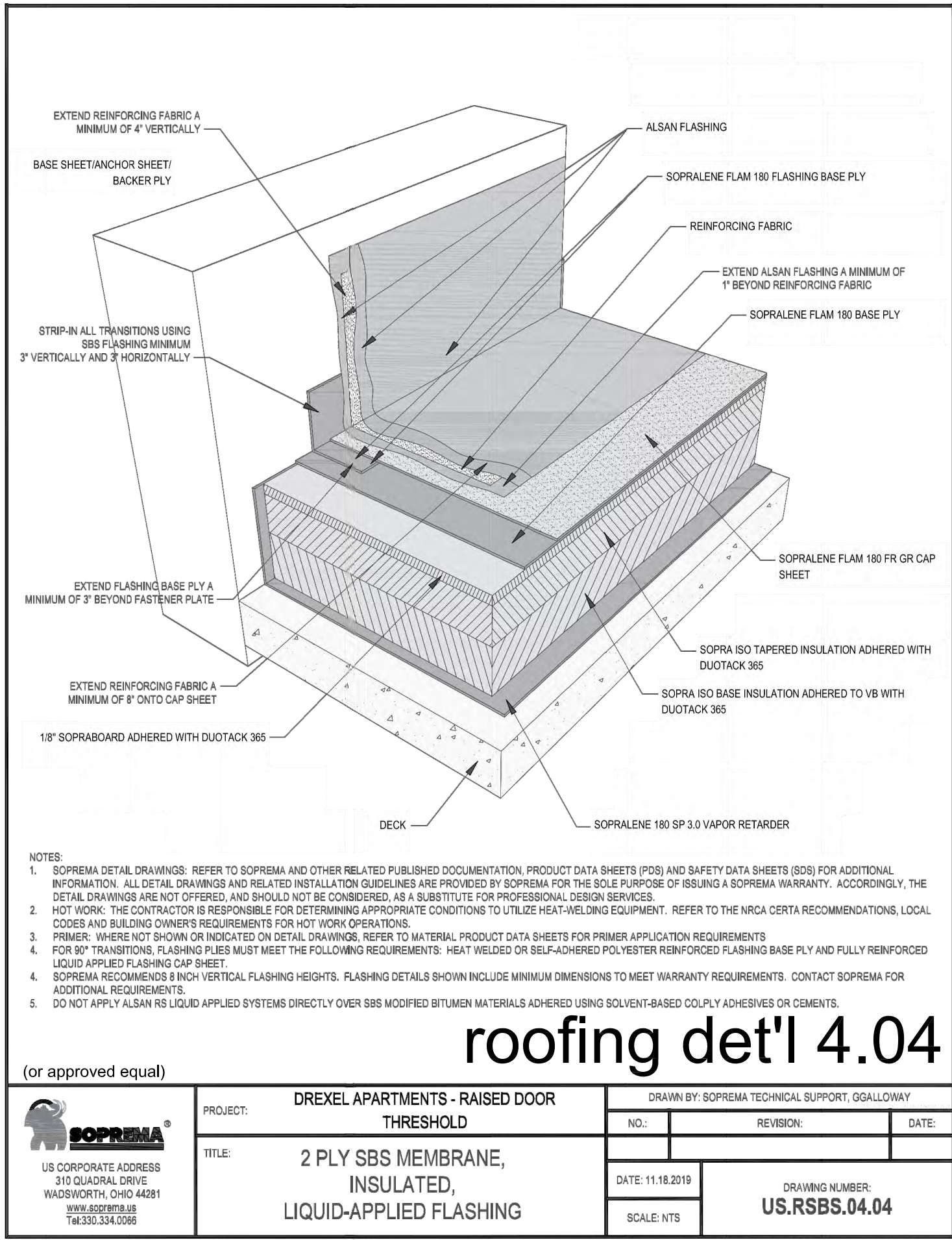
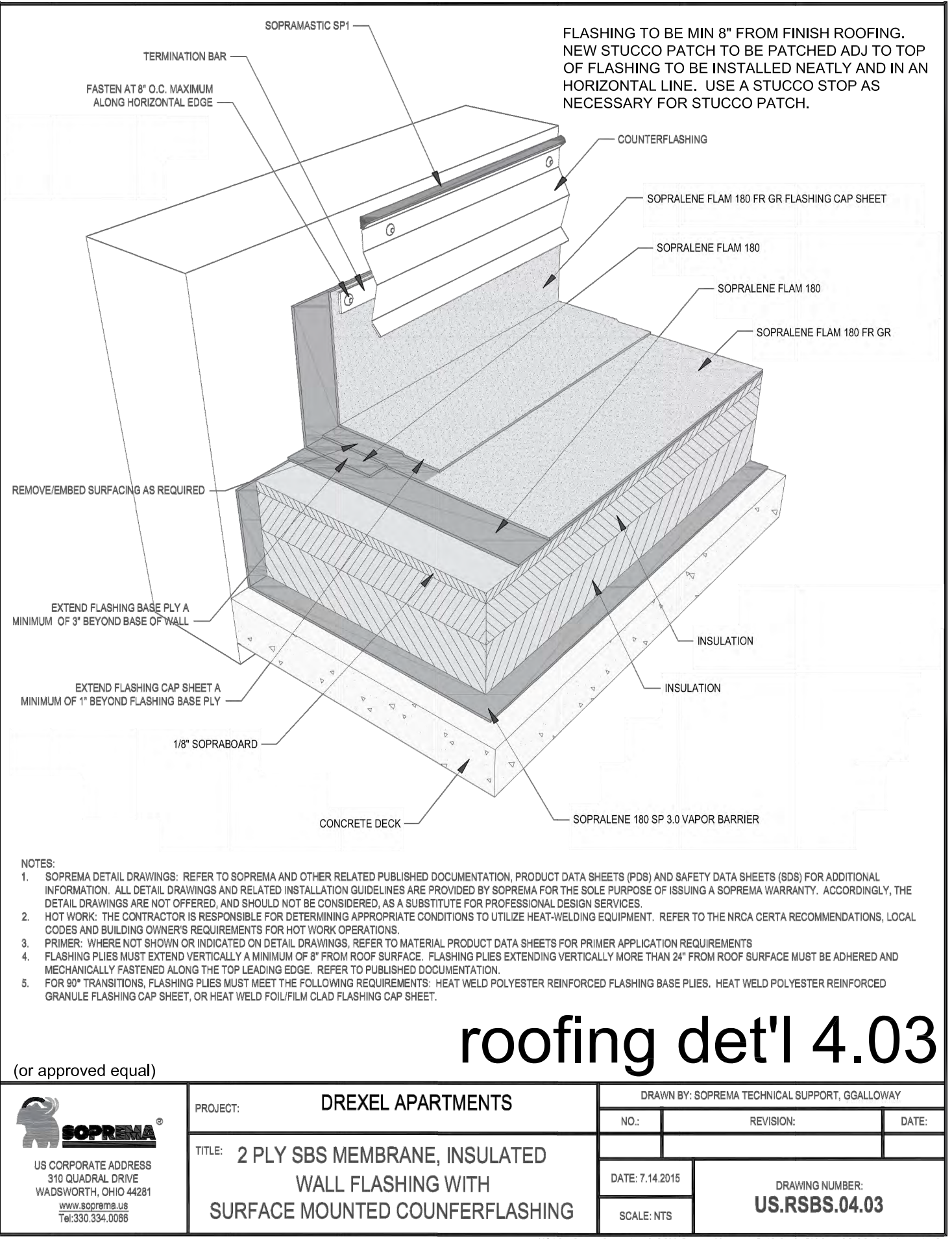
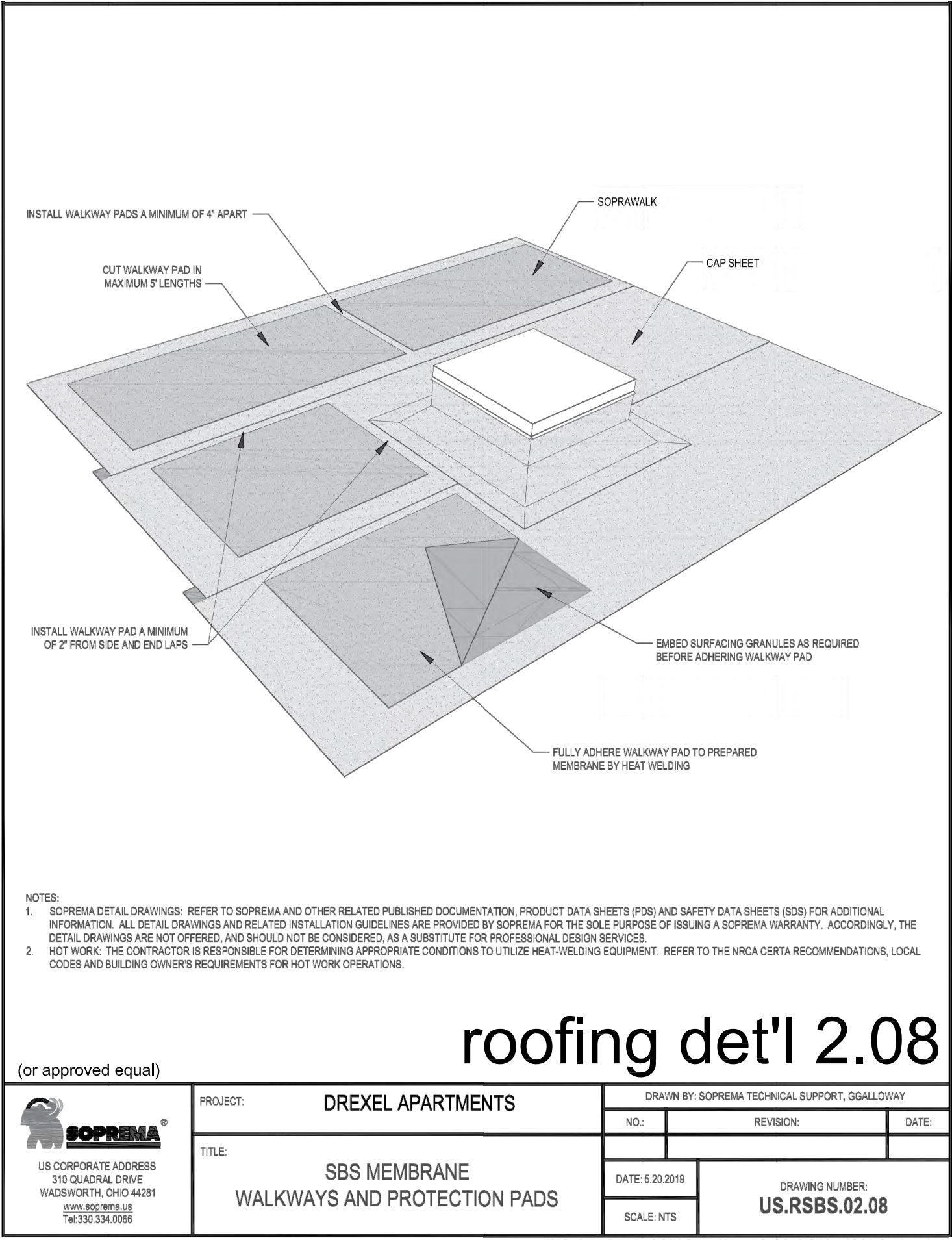
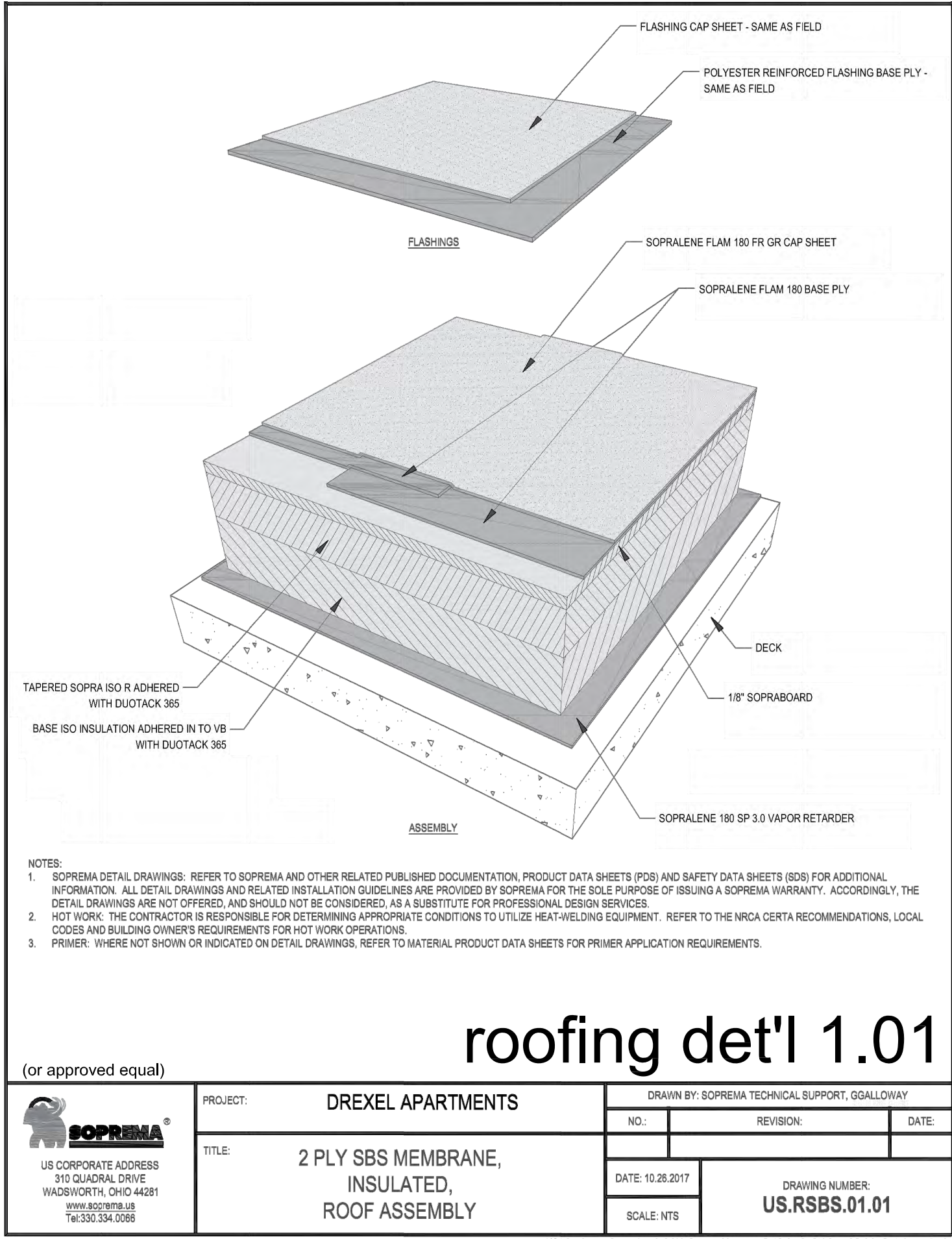
PROJECT NO. 20719

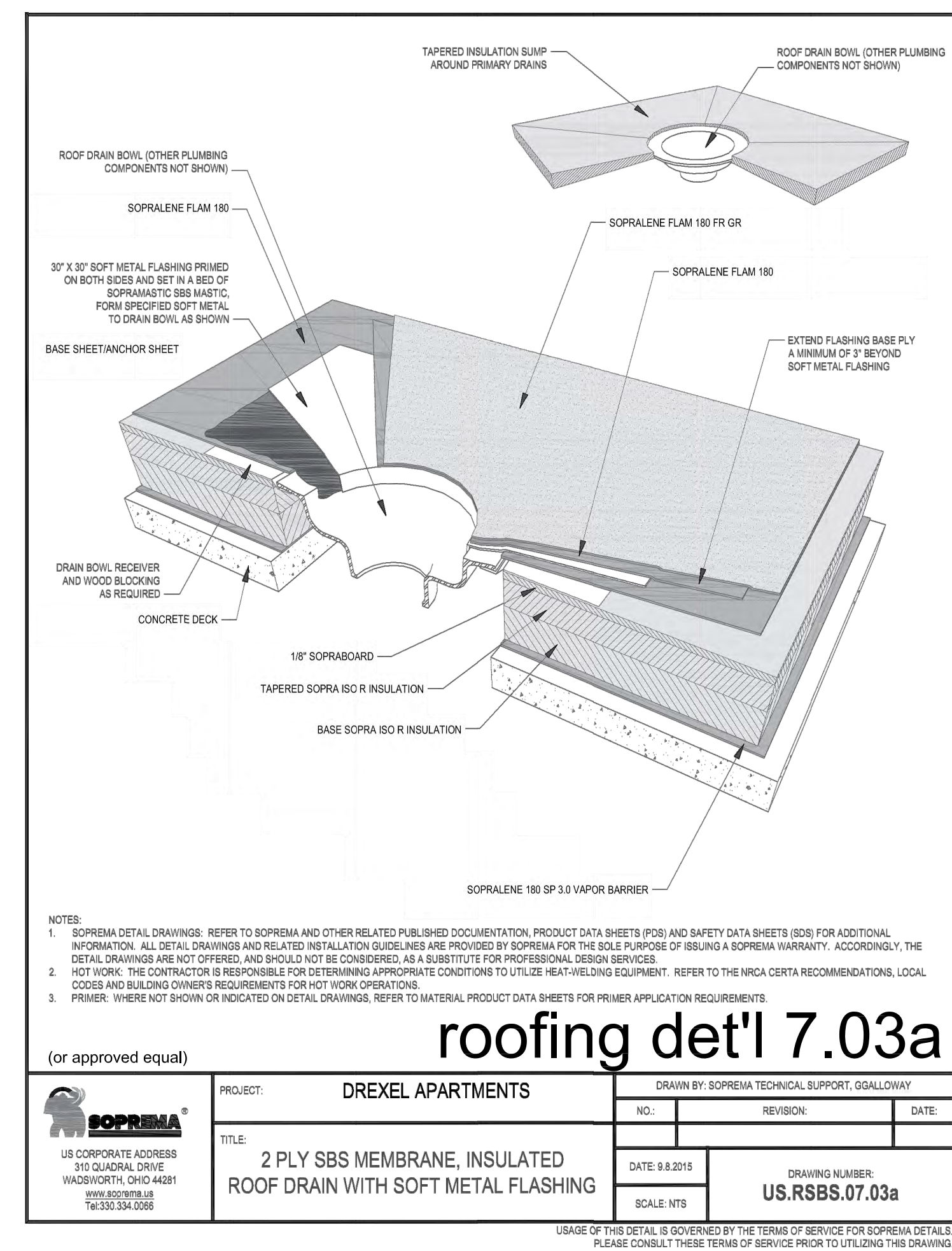
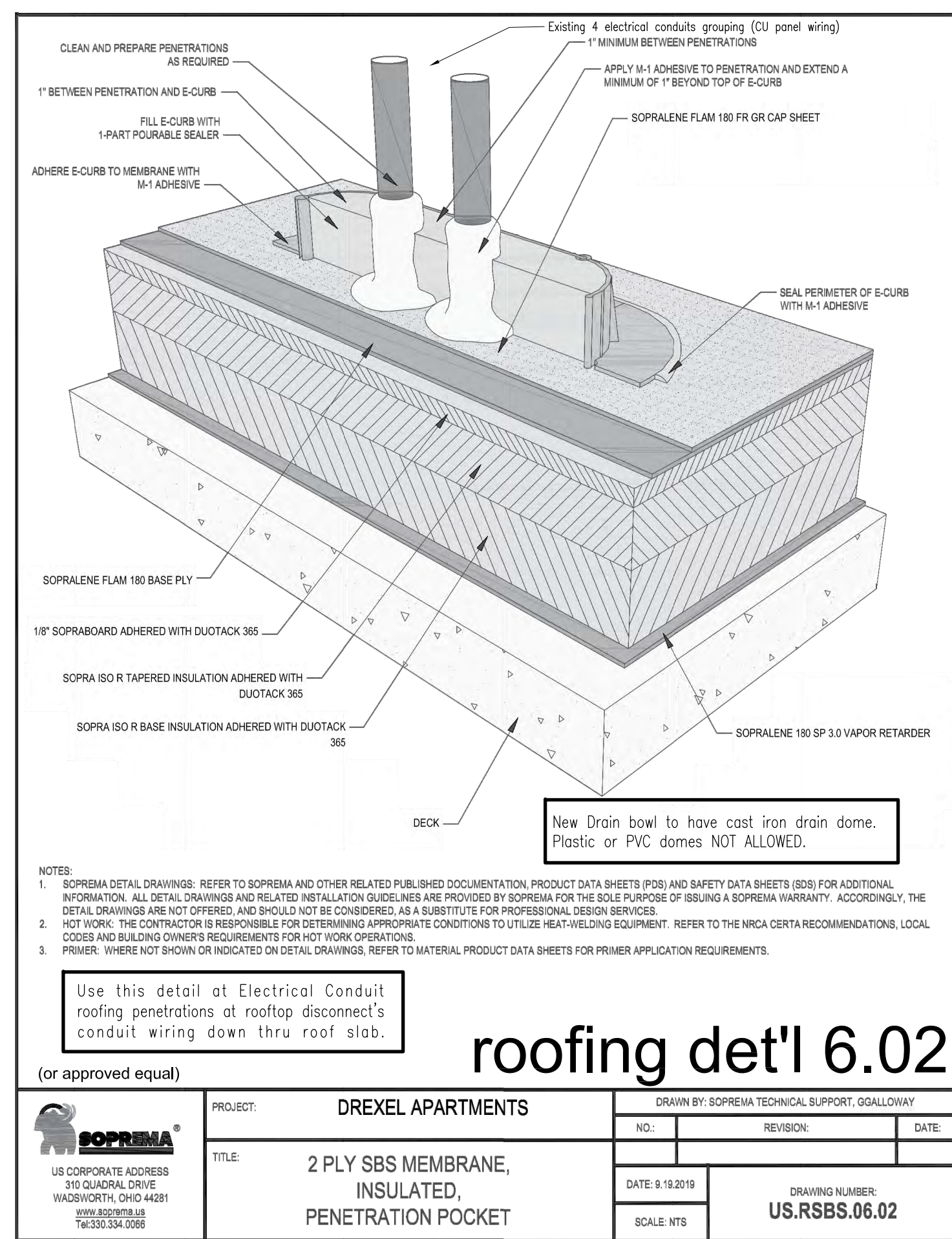
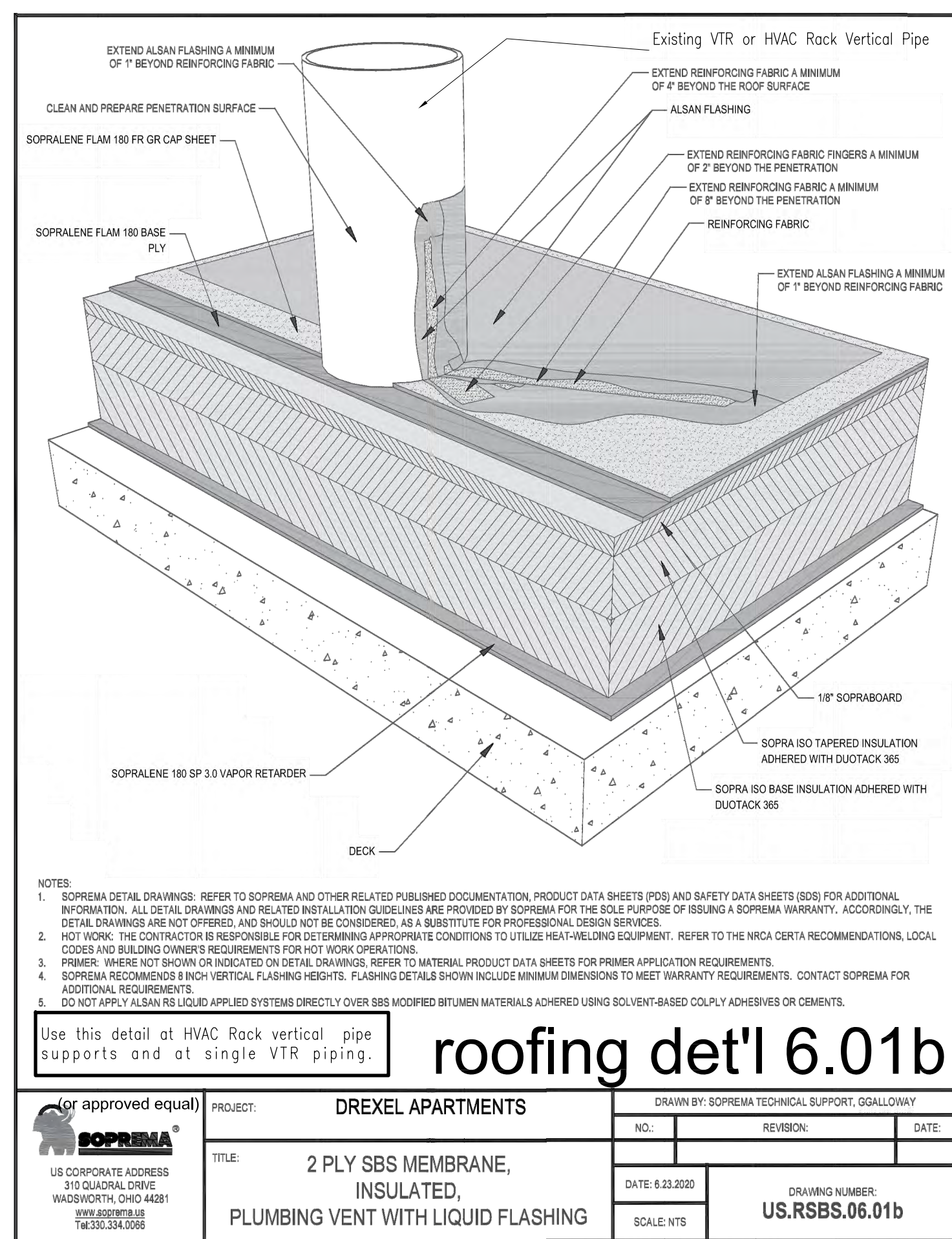
SHEET

ROOFING

LEVEL FIVE

A2.3





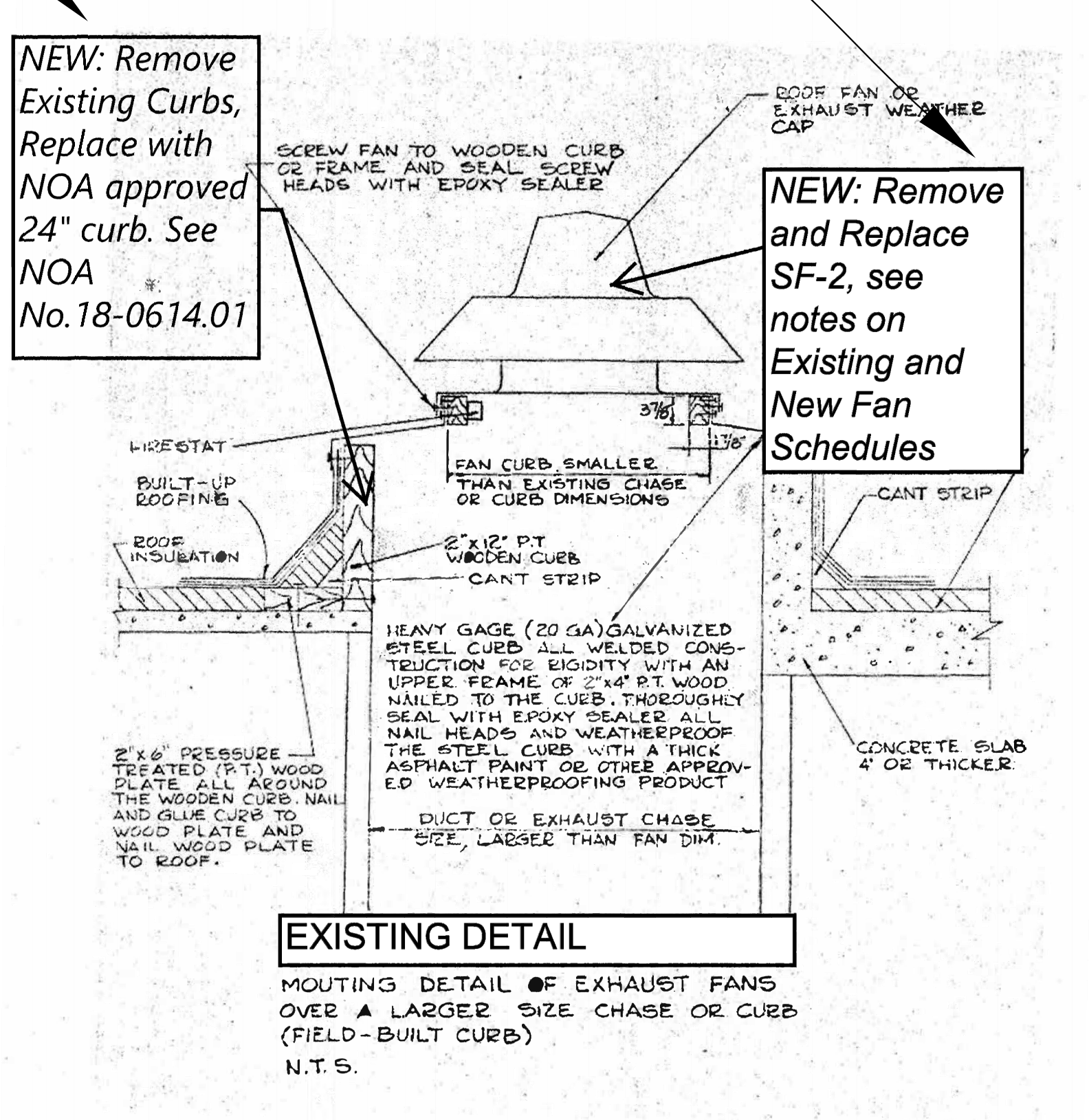
See notes and comments in this box symbol at all existing roofing details. These notes and comments are new work that is to be preformed on the existing detail. _____

-- EXISTING FAN SCHEDULE AND NOTES --			
NUMBER	SF-2	EF-2	
AREA SERVED	CORRIDOR	CORRIDOR	
LOCATION	POOF	WALL	
OPENING REQUIRED	25x25	25x25	
FAN TYPE	PROP.	CENT.	
DRIVE TYPE	DIRECT	V. BELT	
MAX. SONE VALUE	—	6.7	
AIR QUANTITY CFM	3170	3140	
TOTAL STATIC PRESS.	0.25	0.25	
FAN SPEED RPM	1140	536	
MOTOR HORSEPOWER	1/4	1/3	
ELECTRICAL SERVICE	120/160	120/160	
MANUFACTURER	PENN	PENN	
MODEL	C242T	WLD24	
REMARKS	① ②	②	

- ① PROVIDE PREFABRICATED SELF-FLASHING ALUMINUM & SOUND CONTROL
- ② PROVIDE DISCONNECT SWITCH,

NEW FAN NOTES FOR DREXEL ROOFING / HVAC PROJECT!

EXISTING SF-2 TO BE CHANGED OUT. FAN EF-2 HAS PREVIOUSLY BEEN CHANGED OUT. SEE MECHANICAL SHEETS FOR NEW FAN SCHEDULE. EXISTING ELECTRIC IS TO BE REUSED. EXISTING PENN MANUFACTURER FANS HAVE BEEN DISCONTINUED.



NEW: Remove Existing Curbs, Replace with NOA approved 24" curb. See NOA No.18-0614.01

NEW: Remove and Replace SF-2, see notes on Existing and New Fan Schedules

Existing Roofing Det'l Ex1.1

Existing Roofing Det'l Ex2.1

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ROOF DETAILS
PBCHA - DREXEL SENIOR BUILDING
FLAT DECK AND APT HVAC REPLACEMENT
1745 DREXEL ROAD, WEST PALM BEACH, FLORIDA 33417

SUBMITTAL DATES

TO CLIENT

PROGRESS PRINT DATE

REVISION DATES

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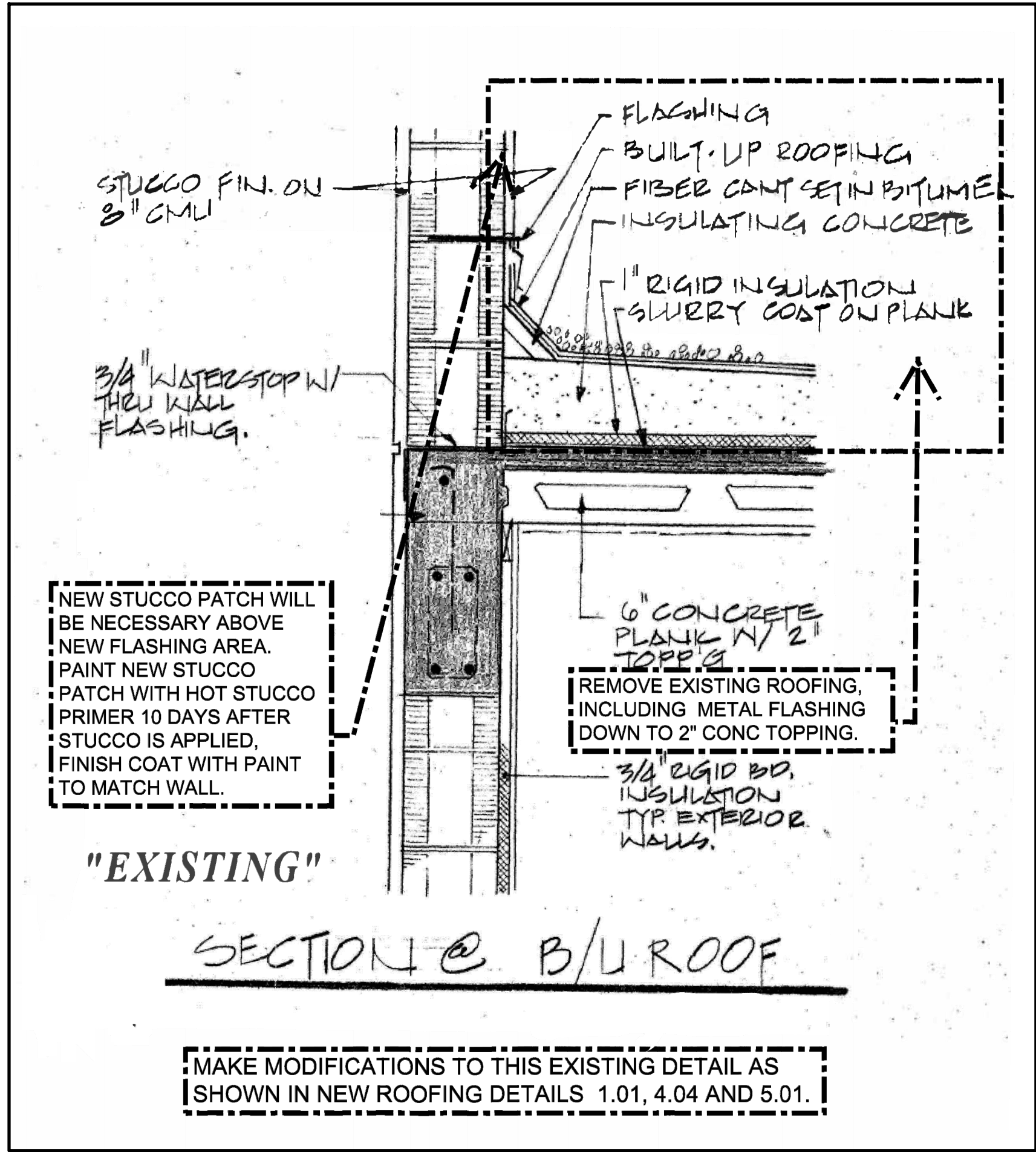
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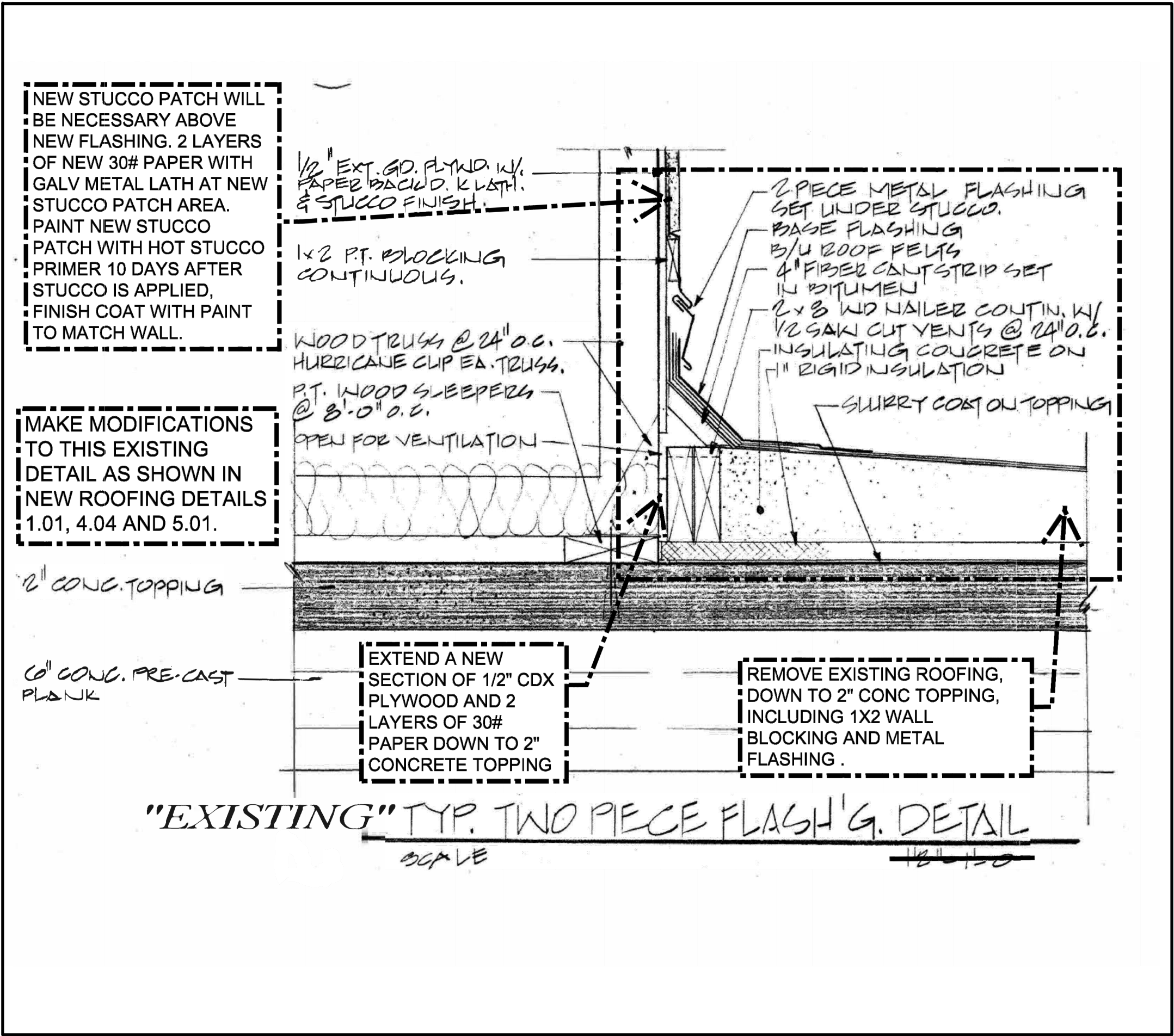
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TYPICAL DETAILS

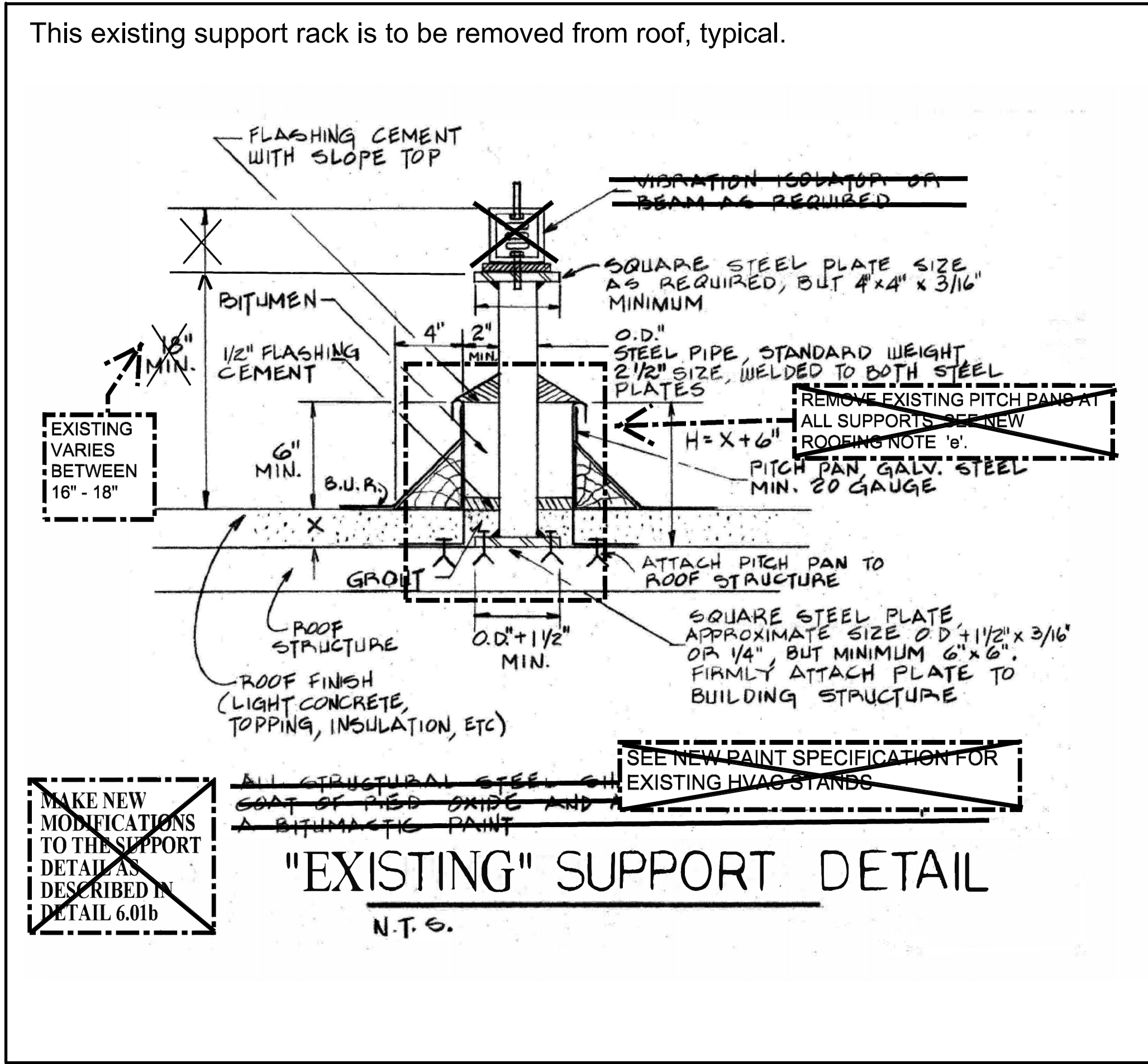
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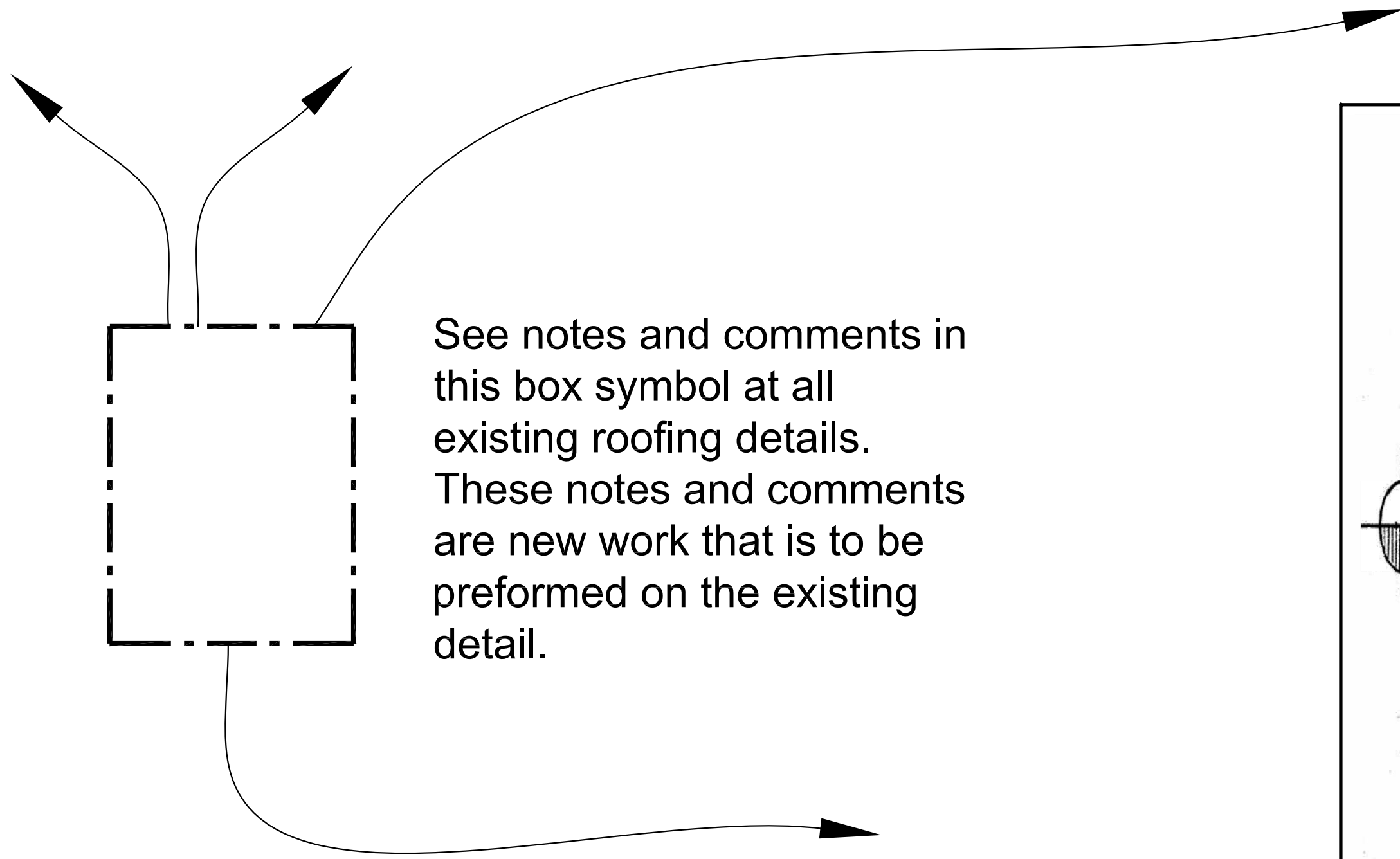
Existing Roofing Det'l Ex3.1



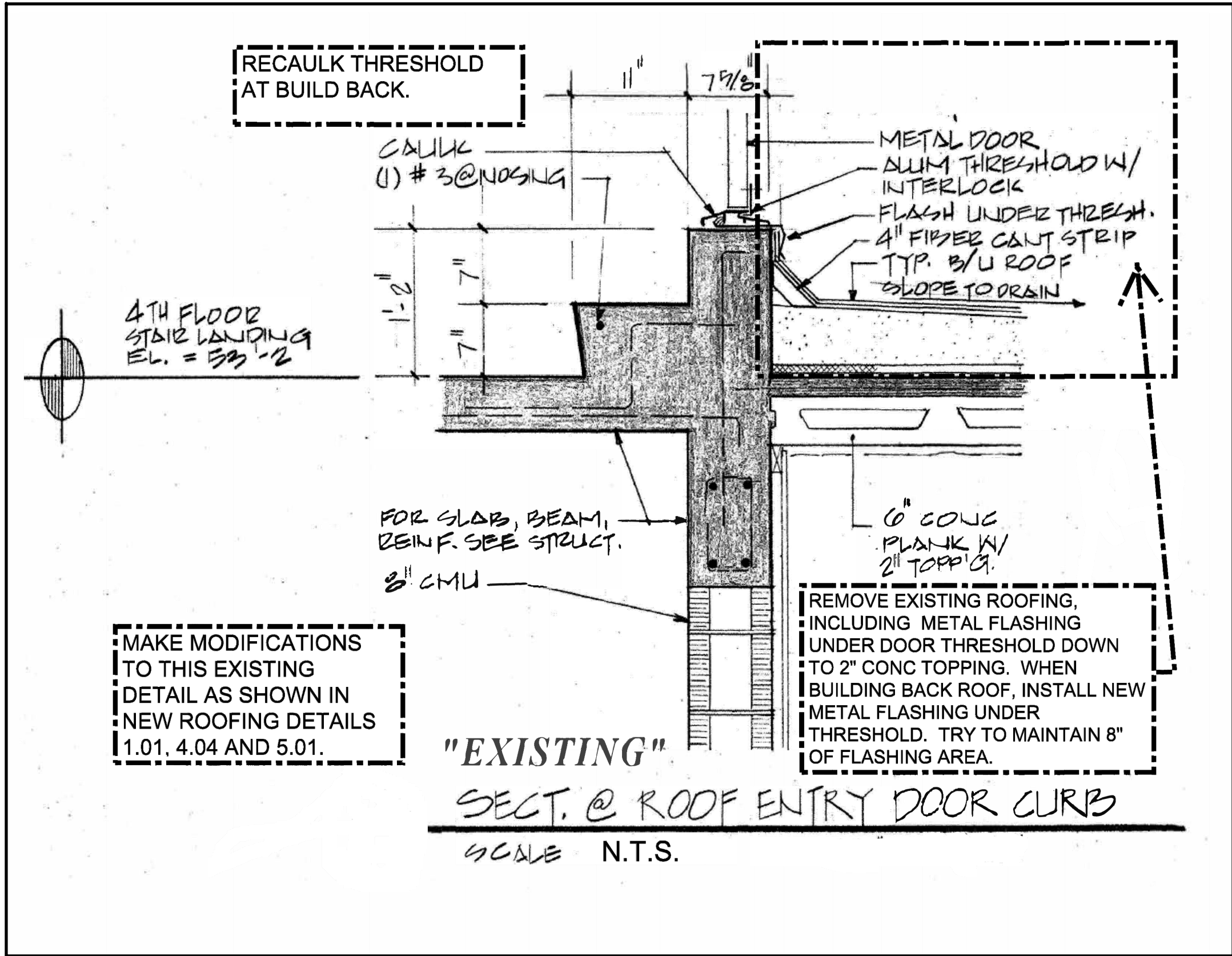
Existing Roofing Det'l Ex4.1



Existing Roofing Det'l Ex5.1



See notes and comments in this box symbol at all existing roofing details. These notes and comments are new work that is to be preformed on the existing detail.



Existing Roofing Det'l Ex6.1

HVAC PROJECT KEY NOTES

- 1

Remove existing interior AHU units and exterior HVAC compressor units. Coordinate removal of units, electrical work, roofing work, and Equipment replacement work so the absolute minimum time for the unit's air to be down occurs. Typical at all units. Submit timeline at bid submittal process.
- 2

Existing L+S lines. All R22 refrigerant is to be completely evacuated. Existing line set is old and is to be cleaned of all sludge, carbon residue, oils, acids, water and other particulate prior to the R410a conversion with Rx11 FLUSH. Test system prior to installing new R410 to assure that R22 has been completely evacuated. Submit a Micron reading report for each line set to architect. Report must show a reading of 500 microns.
- 3

Existing CU disconnects and existing electrical lines from disconnect to CU unit are to be removed. New Square D disconnects (or approved equal) with 2P/30 amp CB to be installed and new electrical in ¾" flexible non-metallic conduit whips to be installed to new units. All new 3/4" conduit to be placed neatly and orderly on the roof and set on plastic conduits stands at min 4 feet on center. Label EACH disconnect and EACH cu unit with apt unit number in black permanent numbers.
- 4

Existing metal electrical conduits and wiring from disconnect to interior apt panels are to remain in place, but pitch pan is to be removed and to be reroofed with roofing detail 6.02.
- 5

Existing L+S LINE JACKS are to be removed and replaced with new 26 g Stainless Steel type 304, 2b finish, ASTM 240, LINE JACKS shall have CLOSED CELL foam at all tubing exits from LINE JACK, ASTM D 1056 2. New line jack's "throat" to be a min of 20" tall from roof structure. This should give approx 8–10" of clear space at finished roof. New Line Jacks to accommodate refrigerant tubing and conduit for 4 HVAC units. Existing L+S lines LENGTHS may need to be lengthened due to raising the line jacks. If so, coupling joint and new line addition is to be included in the bid amount. Contractor is to survey the roof top HVAC existing conditions prior to bid submittal. It is the thinking at this time that the L+S lines that are existing in the LINE CHASES will not be changed out. All lines are to have NEW white insulation wrap from CU unit to the line jack. L+S lines between line jack and equipment stand will need new rooftop supports per code. Currently they do not exist. See details Mx.x
- 6

Remove existing supply fan AND existing curb. Replace existing SF–2 fan with a new supply fan. See fan schedule notes for fan specifications that are to be met. Rebuild new curb as shown in NOA no.18–0614.01. Flash full height of curb per roofing details. PRIOR TO ORDERING FAN, FIELD VERIFY THAT ROOF OPENING IS 25" X 25" AS EXISTING BUILDING DRAWINGS STATE.
- 7

Existing L+S lines in this concealed attic space do not have insulation wrap at the lines. Reinstall wrap on these lines. Submit photos of completed work.
- 8

HVAC closets are to be non-combustible. New AHU is to be hung in closet with metal supports. Remove existing AHU plywood shelf. All condensate piping in this closet to be new CPVC or metal. Interior of door and door jambs in existing AHU closet to be painted with intumescent fire retardant paint, "Flame Control No. 20–20a class 'A', interior low voc, water base, over existing paint.
- 9

Remove existing T–state and replace with New 24/7 programmable T–stats are to be installed. T–stat screen to have large LED lit numbers and menu guide.
- 10

Existing Apartment electrical panel to remain, remove existing circuit breakers for AHU and Compressor unit and replace with new CB's. See Electrical Notes. If field verified wiring is in good condition, it is to remain. If not, bring it to the attention of the Architect for discussion. TYPICAL ALL UNITS.
- 11

Contractor to submit an independent EXTENDED 10 YR WARRANTY for ALL PARTS AND LABOR for each apartment address. This warranty shall be submitted at the second to last payment of the project. In addition to this extended warranty the Contractor shall register the HVAC equipment with the original manufacturer within 30 days of installation for each apartment unit. Proof of this manufacturer registration shall be submitted upon the 100% installation billing of each HVAC unit.
- ROOFING PROJECT KEY NOTES
- a

Existing vent stack to be refashed. See roofing detail 6.01b.

b

Existing vent stack to be removed at concrete deck level and replumbed with two 90 degree fittings. Vent pipe to extend horizontally at surface of roof deck 8" min then turn up vertically to extend 8" above roof deck finish elevation. Flash vent per roofing detail 6.01b.

c

Existing roof penetration for electrical conduits. Remove existing pitchpan, pitchpan flashing and liquid flashing down to bear electrical conduit and concrete roof deck. Install new flashing system per roofing detail 6.02.

d

Remove existing waterline pitchpan and flashing. Install new flashing system per roof detail 6.02, raise water line along roof deck on "Mapa–MT–1–A8" nylon base single post rooftop pipe support at min 4' oc.

e

Existing steel equipment stands are to be removed. New AL stands are to be manufactured and installed per insert drawing detail 1/A2.2 and 2/A2.2. Installation fasteners shall be per highlighted NOA as found in the project manual.

f

Existing 3" (Vlf) roof drain bowl to be removed and new roof drain bowl to be flashed into existing plumbing stack, adjust height of stack and flashing bowl as necessary for new insulation boards. Continuous minimum 4.5 inch "suprema super–iso" (or approved equal) polyiso insulation board (R25 min) to be maintained at drain bowl. New drain bowl hood to be cast iron. Plastic or PVC hoods not allowed. See roofing detail 7.03a. V.I.F. EXACT ROOF DRAINS PLACEMENT PRIOR TO DOING TAPERED DRAWING FOR SUBMITTAL.

g

Existing 4 x 10 emergency scupper has been buried in a previous reroof procedure. Plywood at this location is also rotton and needs to be replaced. Remove and replace the bottom 4' of plywood and stucco on this 5'–0" wall. Emergency Scupper at this area is to be removed and relocated (new materials required) per note 'h'. Hatched area indicates scupper portion to be removed.

h

Relocate (new metal scupper material to match existing will have to be patched in) existing buried scupper opening to this new location. Bottom of scupper to be 2" above finished roof at this location. Submit photos of completed scupper work in this space.

i

Existing 4 x 10 emergency scupper has been buried in a previous reroof procedure. New 4x10 scupper is to be reinstalled. Bottom of scupper is to be +2" above finish roof at this location. PATCH CMU AND STUCCO AS NECESSARY IF SCUPPER NEEDS TO BE LIFTED. TOUCH UP PAINT BOTH SIDES

j

Remove existing wall louver. Block up existing opening with cmu, stucco, paint with hot stucco primer once proper ph level is reached, final coat paint to match walls.

k

Install Suprima Suprawalk per manufacturer's installation instructions from door opening to end of building at middle of roof deck. See drawings A2.1 and A2.2 for location. COLOR TO BE TAN.

l

Existing roof layers to be removed down to light weight concrete. Existing light weight concrete to be removed down to the 2" structural concrete topping over precast slab. Roof to be built back with Suprema Isoboard and SBS layers per all details on A3.1, A3.2 A2.1, A2.2, A2.3. Roofing Contractor to be a Certified Suprema Applicator at time of contract signing. NEW ROOFING PROJECT is to be covered under Suprema platinum 101 20 yr N.D.L. warranty. Warranty is to be submitted at 2nd to last payment application (not retention payment application which is considered Final payment app). Contractor to submit roofing shop drawings for all roofing materials and for tapered insulation system prior to commencing project. Contractor is to dispose of all demo materials off site in a legal manner.

GENERAL NOTES

1. THESE PLANS WERE PREPARED USING THE FLORIDA BUILDING CODE 7TH EDITION, (2020).

2. CONSTRUCTION SHALL FOLLOW THE FLORIDA BUILDING CODE AS ADAPTED BY THE COUNTY AND ALL APPLICABLE AMENDMENTS.

3. BUILDER SHALL COORDINATE ALL THE WORK OF ALL TRADES.

4. BUILDER SHALL REVIEW DRAWINGS IN THEIR ENTIRETY BEFORE STARTING WORK. THE BUILDER SHALL ACCEPT FULL RESPONSABILITY FOR ANY ERRORS OR OMISSIONS NOT REPORTED IMMEDIATELY IN WRITING TO THE ARCHITECT. BACKCHARGES WILL NOT BE ACCEPTED. DO NOT SCALE DRAWINGS.

5. SUBMIT MINIMUM ONE DIGITAL SS SHOP DRAWING AT COMMENCEMENT OF PROJECT, AND TWO (2) HARD COPIES OF SHOP DRAWINGS AT JOB CLOSEOUT.

6. BUILDER IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL OR NON-STRUCTURAL MEMBERS DURING CONSTRUCTION.

7. ALL CONSTRUCTION IN BROWARD AND DADE COUNTIES SHALL COMPLY WITH THE HIGH VELOCITY HURRICANE ZONE (HVHZ) SECTIONS OF THE F.B.C.

FRAMING NOTES

1. STRUCTURAL WOOD AND TIMBER FRAMING SHALL CONFORM TO THE "TIMBER CONSTRUCTION MANUAL" AS PUBLISHED BY THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.

2. ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED. PROVIDE AN APPROVED MOISTURE VAPOR BARRIER BETWEEN THE CONCRETE OR OTHER CEMENTITIOUS MATERIALS AND THE WOOD AS PER CODE.

3. BUILDER SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE BRACING AND BRIDGING USED DURING ERECTION, MODIFICATION, OR REPAIR OF JOISTS, TRUSSES AND STRUCTURAL SLABS TO PREVENT COLLAPSE OR DAMAGE.

4. DIMENSIONAL LUMBER SHALL BE SOUTHERN PINE, NO. 2 OR BETTER AND SHALL PROVIDE ALLOWABLE STRESS VALUES OF 1200 PSI IN BENDING FOR A SINGLE MEMBER USES. 90 PSI IN HORIZONTAL SHEAR AND SHALL HAVE A MODULES ELASTICITY OF 1600 KSI OR BETTER, AS DETERMINED BY AN APPROVED LUMBER GRADING AGENCY.

5. METAL LATH OVER SHEATHING SHALL BE 3/8" V-GROVE OR DIMPLED. CEILINGS AND SOFFITS SHALL BE HIGH RIB TYPE, FASTEN TO SUBSTRATE AT 4" O/C AS FOLLOWS; CONCRETE: 3/4" LONG STUB NAILS W/ 3/8" HEAD. HORIZONTAL AND VERTICAL WOOD FRAMING MEMBERS W/ NAILS OR STAPLES TO PROVIDE AT LEAST 1–3/4" PENETRATION INTO HORIZONTAL WOOD FRAMING MEMBERS, AND 3/4" PENETRATION INTO VERTICAL WOOD FRAMING MEMBERS. ON VERTICAL WOOD FRAMING MEMBERS, COMMON NAILS SHALL BE BENT OVER TO ENGAGE AT LEAST THREE STRANDS OF LATH, OR BE BENT OVER A RIB WHEN RIB LATH IS INSTALLED. SHEATHING: 14 GAUGE STAPLES 1" LEG, 7/16" CROWN METAL MTL. FRAMING: SELF TAPING SCREWS #12 x 1/2" WASHER HEAD STAPLES SHALL NOT BE USED FOR SOFFITS OR CEILINGS

6. WHERE CEMENT PLASTER IS APPLIED TO LATH OVER FRAME CONSTRUCTION, BONDING OF THE PLASTER TO THE WATER BARRIER SHALL BE PREVENTED BY PROVIDING A DBL. LAYER OF WATER BARRIER OR BY INSTALLING A HOUSE WRAP BENEATH THE WATER BARRIER.

7. PNEUMATIC FASTENERS SYSTEM TO BE HILTI–COIL NAIL PROGRAM. TYPE TO BE CRF 112G 1–1/2" LONG AND .120" DIAMETER U.N.O.

LOAD SCHEDULE

WIND:

ULTIMATE WIND SPEED = 170 m.p.h.

NOMINAL WIND SPEED = 132 m.p.h.

RISK CATAGORY = II

BUILDING DESIGN AS ENCLOSED

INTERNAL PRESSURE COEFFICIENT = +/- 0.18

EXPOSURE CATEGORY = C

MEAN ROOF HEIGHT = 40'–0"

NOTE: THIS IMPROVEMENT TO THE EXISTING STRUCTURE IS DESIGNED IN ACCORDANCE WITH CHAPTER 16 OF THE 2020 FLORIDA BUILDING CODE AND ASCE 7–16.

PLYWOOD PATCH AREAS AND ROOF CURB PLYWOOD SCHEDULE											
LOCATION	PANEL GRADE	PANEL THICKNESS	FRAMING SPACING	DIAPHRAGM BOUNDRIES	DIAPHRAGM NAILING						REMARKS
					ZONE 1		ZONE 2		ZONE 3		
ROOF					EDGE	INTER.	EDGE	INTER.	EDGE	INTER.	
EXTERIOR WALL	APA RATED SHEATHING EXPOSURE 1, OR EQUAL SPAN RATING 40/20	19/32"	16" O/C MAX.	10d 4" O/C	4"10d 4" O/C	4"10d 4" O/C					NAIL CORNER STUDS AT 4" OC MAX, TYPICAL BLOCK FREE EDGES

1) ALL NAILS TO BE OF RINGSHANK VARIETY UNLESS NOTED OTHERWISE.

ROOFING MATERIAL NOA'S

SOPREMA MODIFIED BITUMEN ROOFING SYSTEMS OVER CONCRETE DECKS NOA No.:20–0902.15 Expires 03/01/26. Submit updated NOA if current is expired at time of permitting. Submit Highlighted Noa with all used products high–lighted on each applicable sheet of the NOA.

OR APPROVED EQUAL WITH PROPER SUBMITTAL SUBMISSIONS

HVAC ALUMINUM EQUIPMENT STAND NOA

ALUMINUM A/C STAND NOA No.:17–1218.02 Expires 01/15/24. Submit updated NOA if current is expired at time of permitting. Submit Highlighted Noa with all used products high–lighted on each applicable sheet of the NOA.

OR APPROVED EQUAL WITH PROPER SUBMITTAL SUBMISSIONS INCLUDING ENGINEERING CALCS.

ASP STEEL ROOF TOP FAN NOA

ASP STEEL ROOF TOP FAN NOA No.:18–0614.01 Expires 11/13/23. Submit updated NOA if current is expired at time of permitting. Submit Highlighted Noa with all used products high–lighted on each applicable sheet of the NOA.

OR APPROVED EQUAL WITH PROPER SUBMITTAL SUBMISSIONS

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General Notes and Schedules

PBCHA - DREXEL SENIOR BUILDING

FLAT DECK AND APT HVAC REPLACEMENT

1745 DREXEL ROAD, WEST PALM BEACH, FLORIDA 33417

SUBMITTAL DATES

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SCALE

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PROJECT NO.

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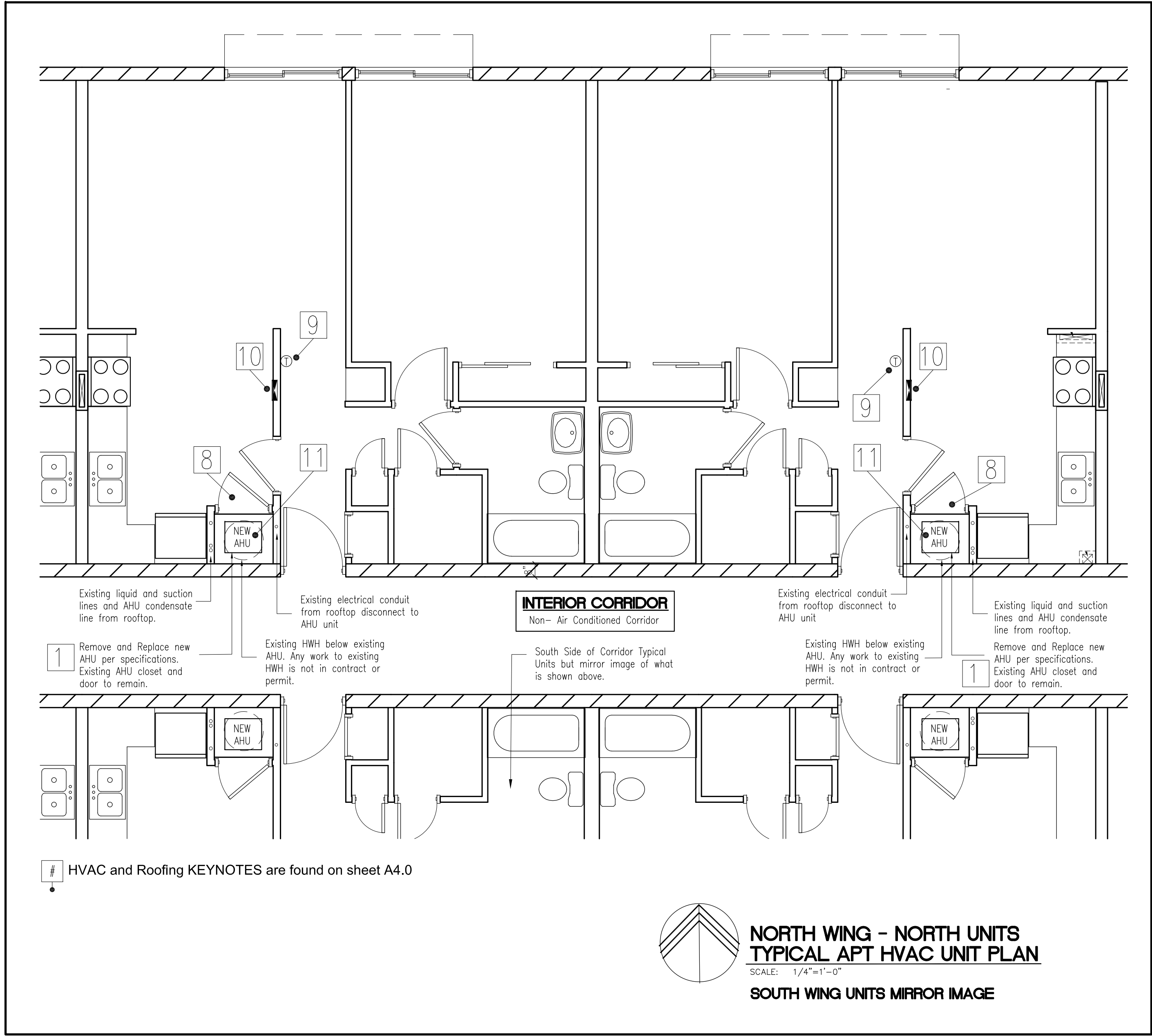
SHEET

Notes and Schedules

A4.0

NORTH ROOF ZONE DIAGRAM

SCALE: NTS
SOUTH ROOF ZONE DIAGRAM IS SIMILAR



TYPICAL HVAC UNIT LAYOUT
PBCHA - DREXEL SENIOR BUILDING
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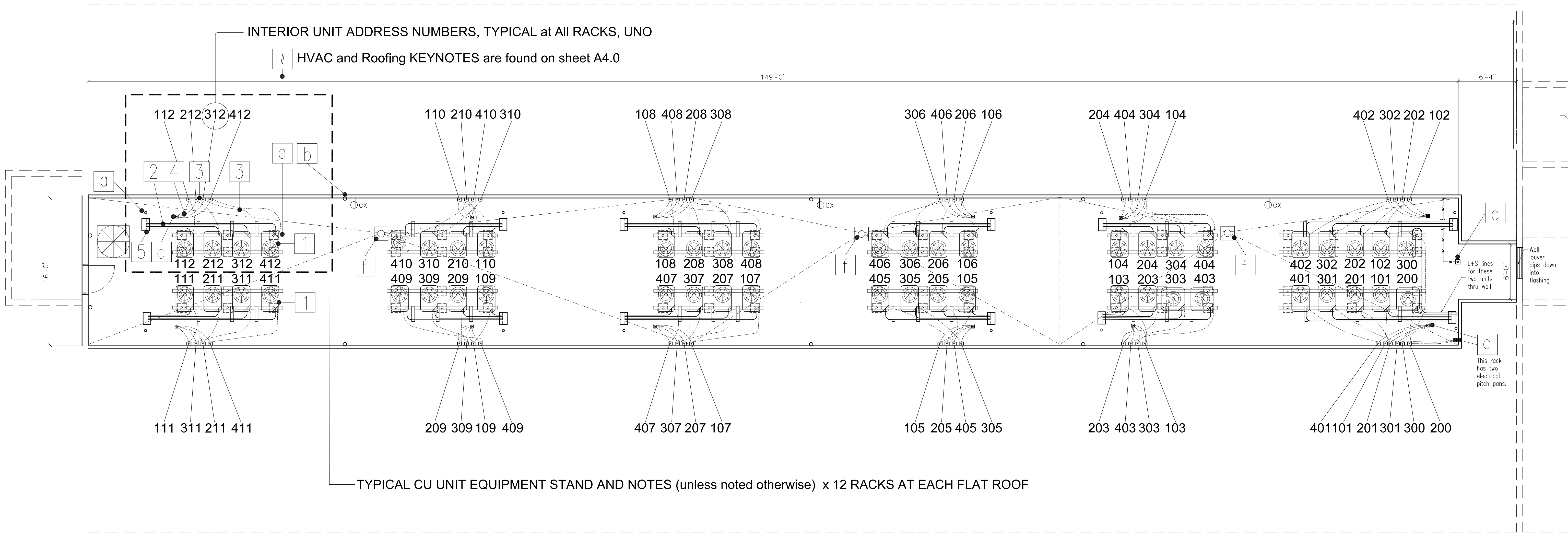
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SHEET
TYP HVAC
UNIT
PLAN

M1.0

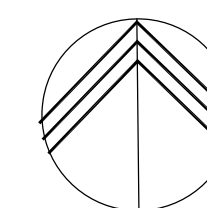
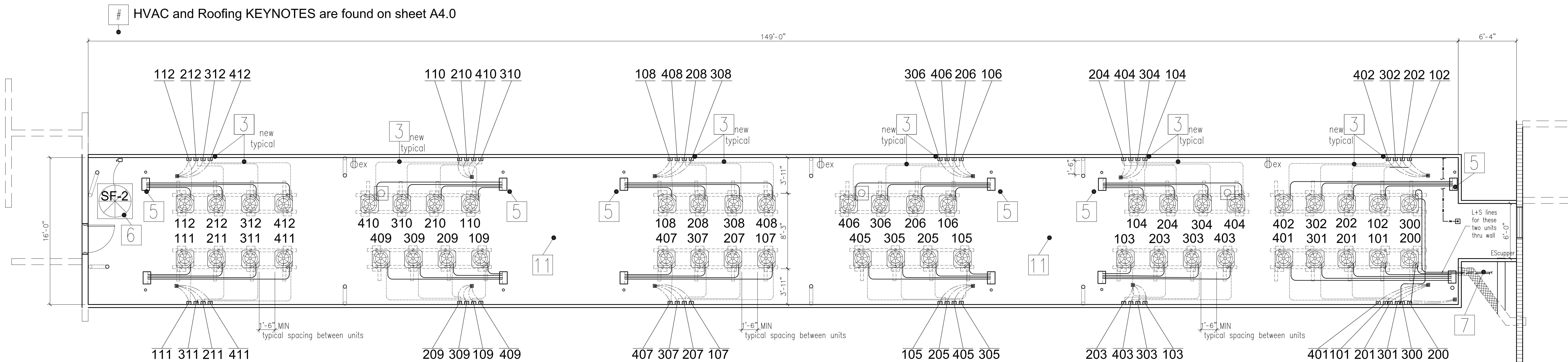


1
A2.2

2
A2.2

See Typical 4 and 5 Unit NEW A/C Stands Sheet A2.2

SEE A2.1 DRAWING FOR AC RACK PLACEMENT ON ROOF
SEE A4.0 DRAWING FOR KEY NOTES



NEW
HVAC WORK TO
NORTH DECK LEVEL FOUR
SCALE: 3/16"=1'-0"

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North Building Roof / HVAC
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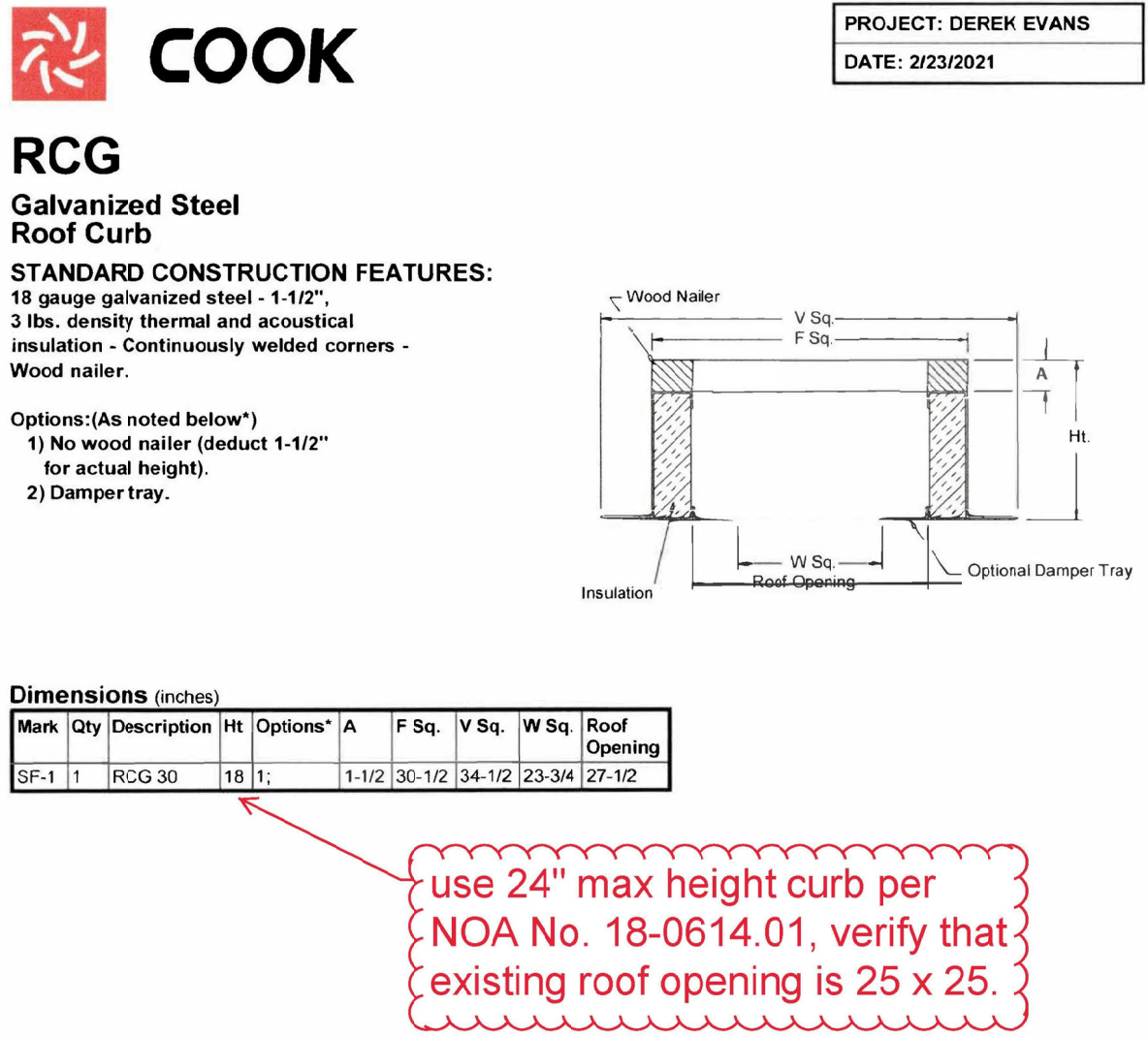
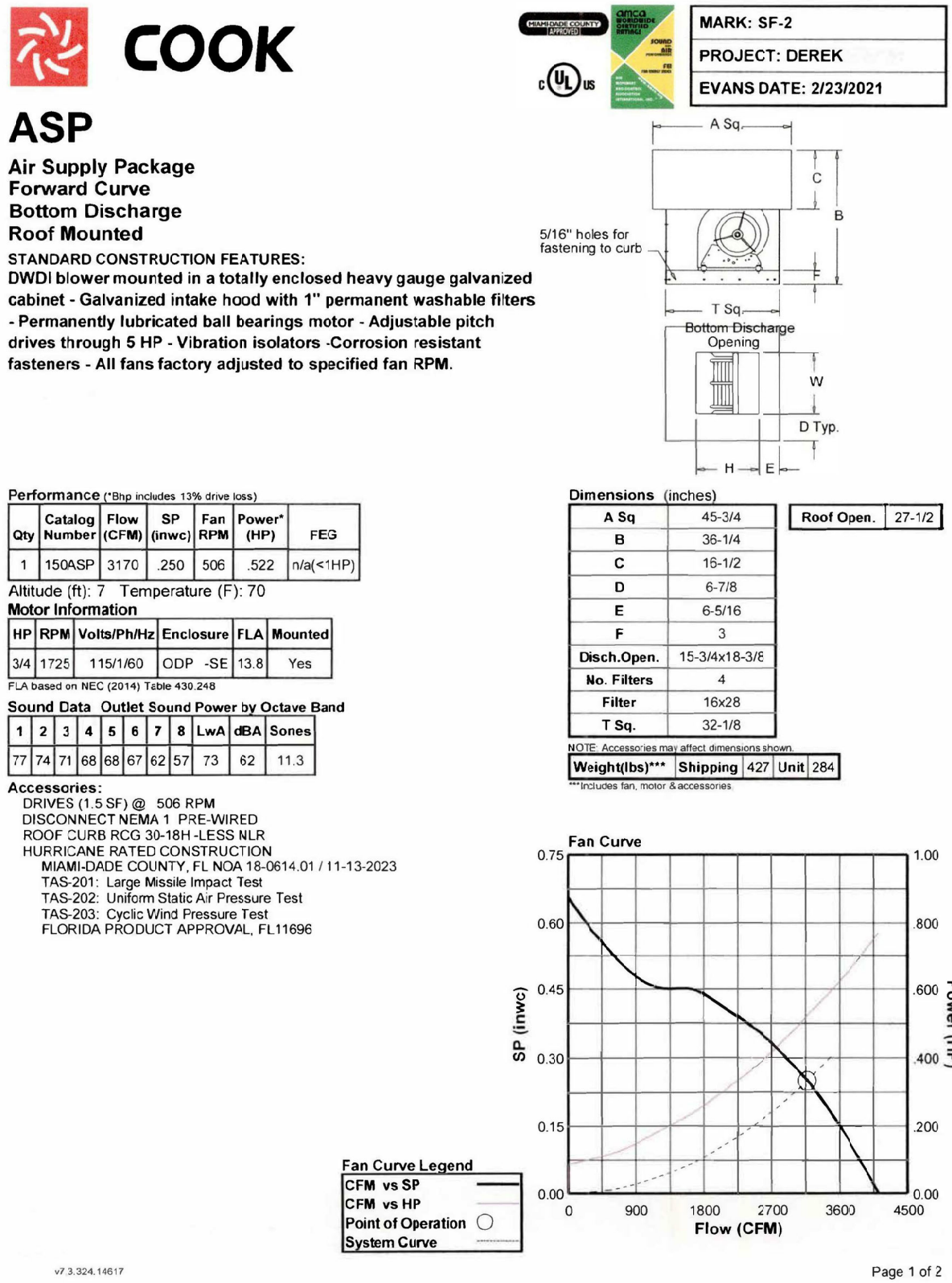
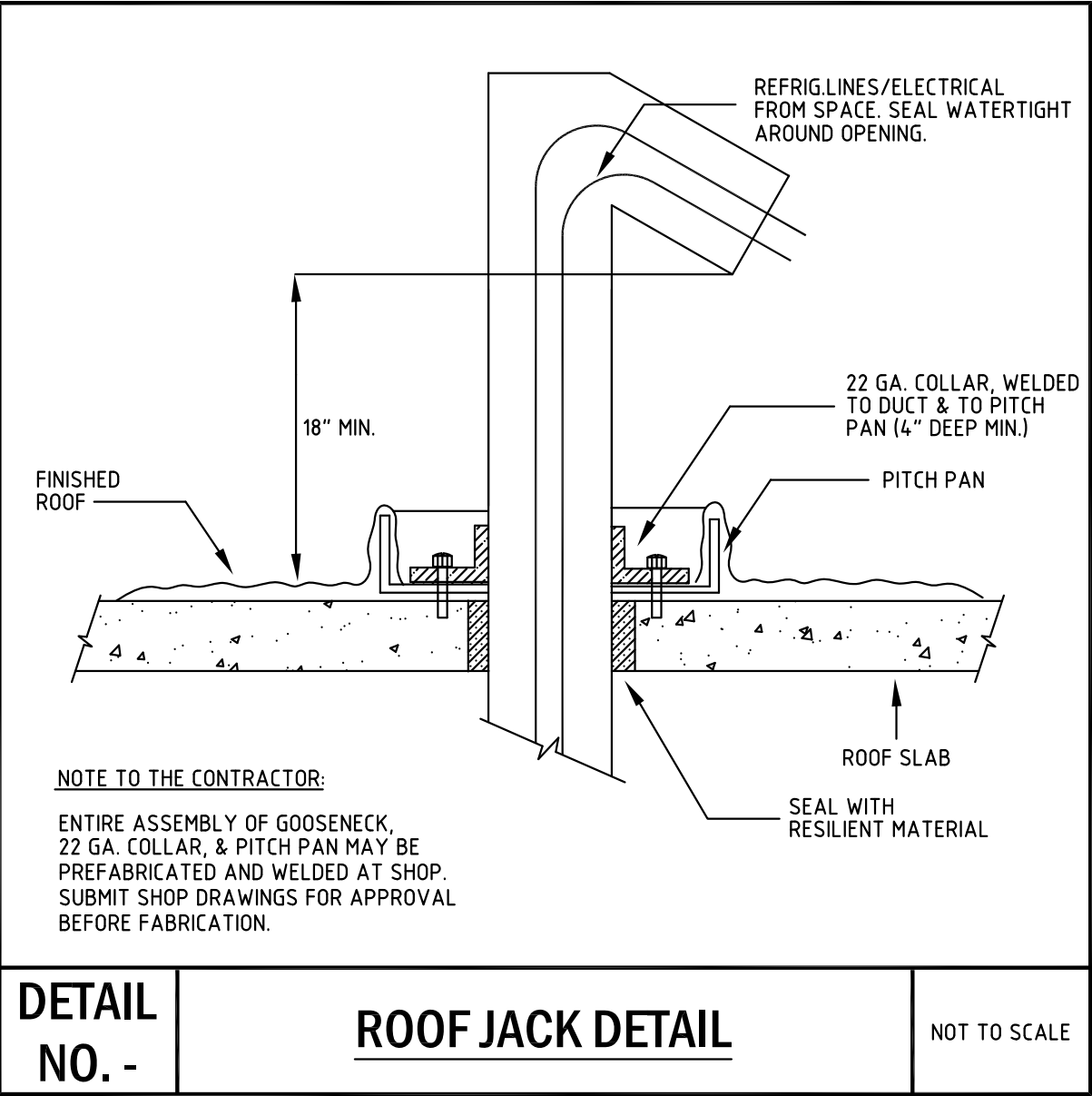
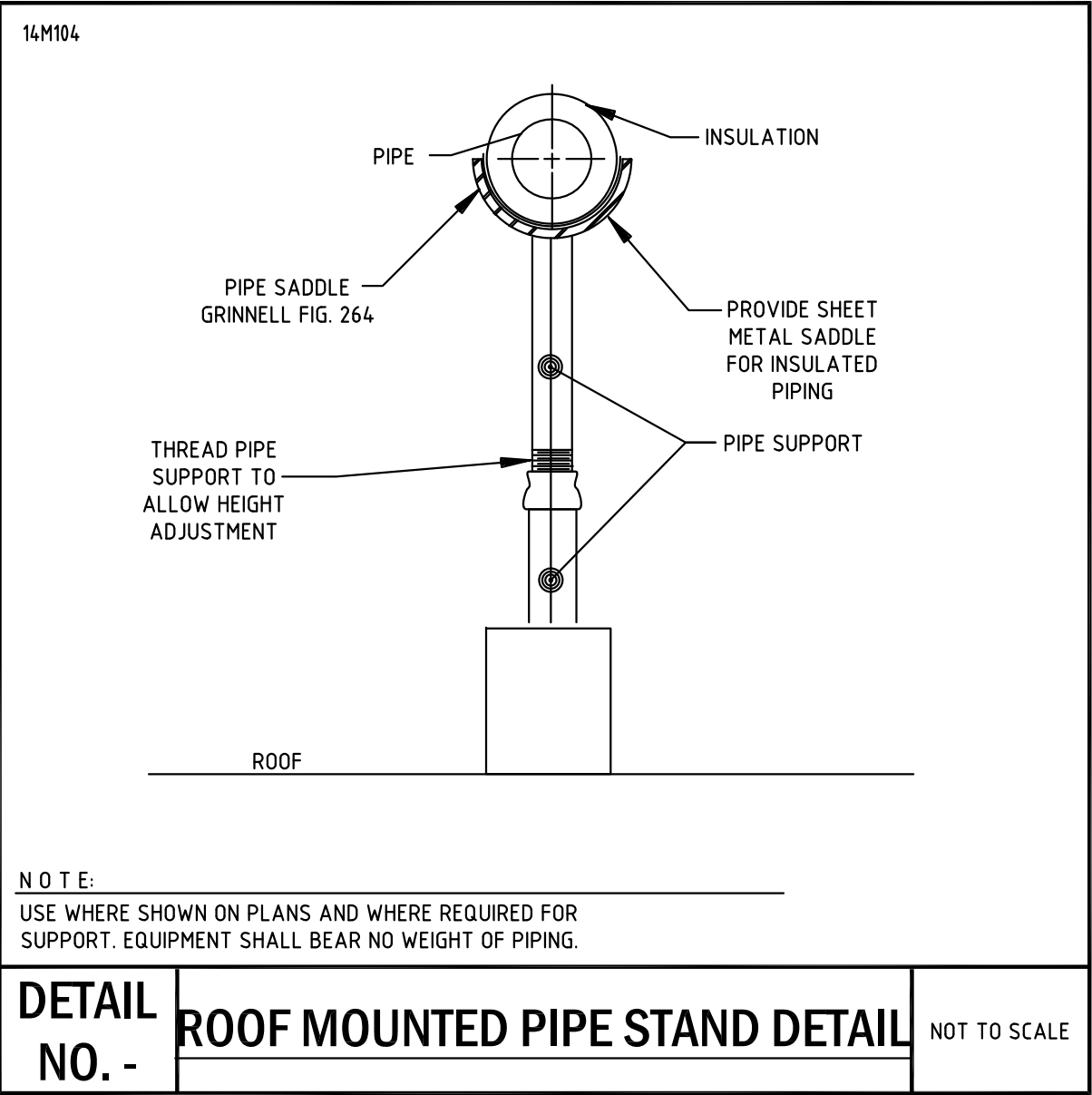
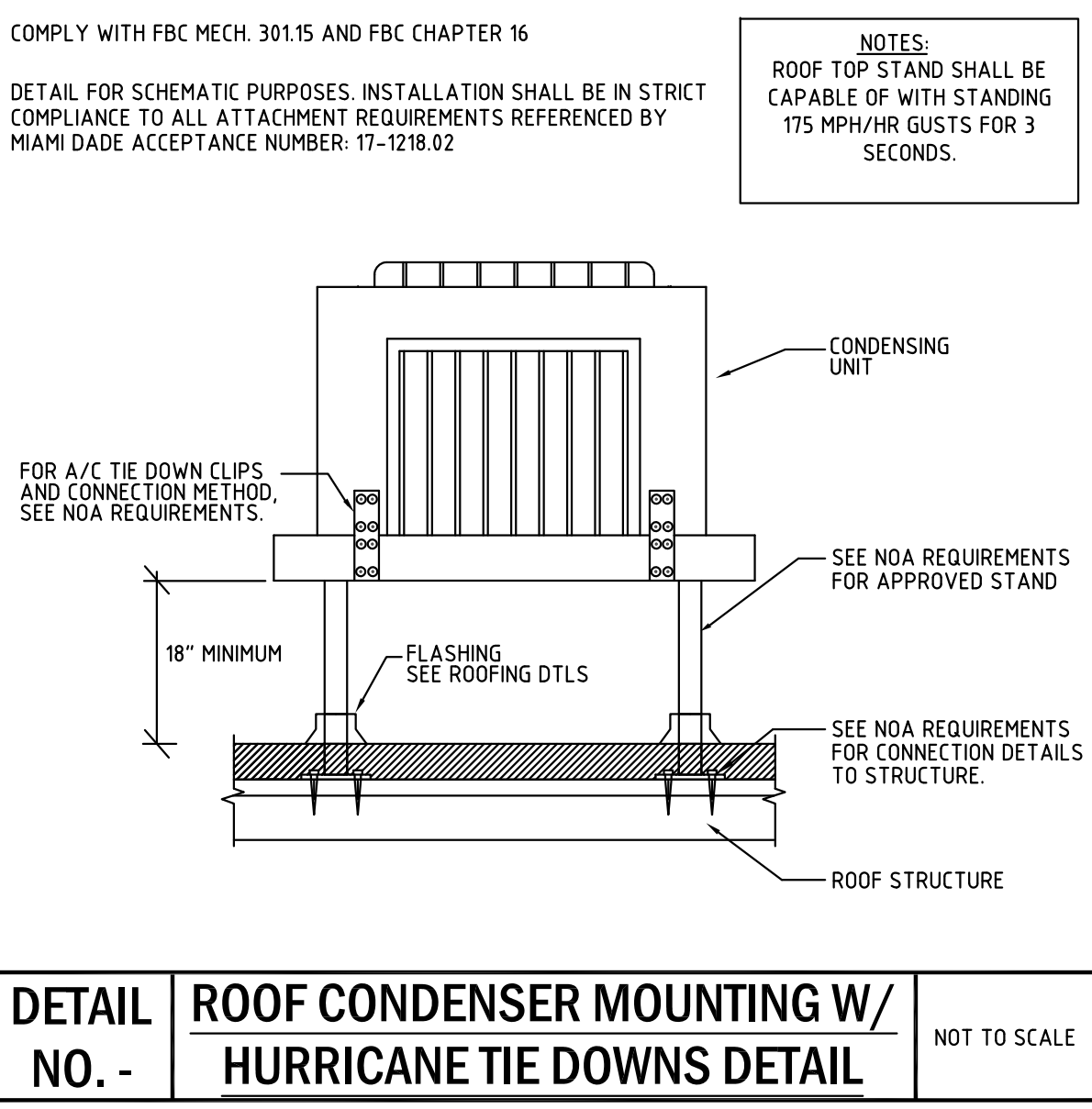
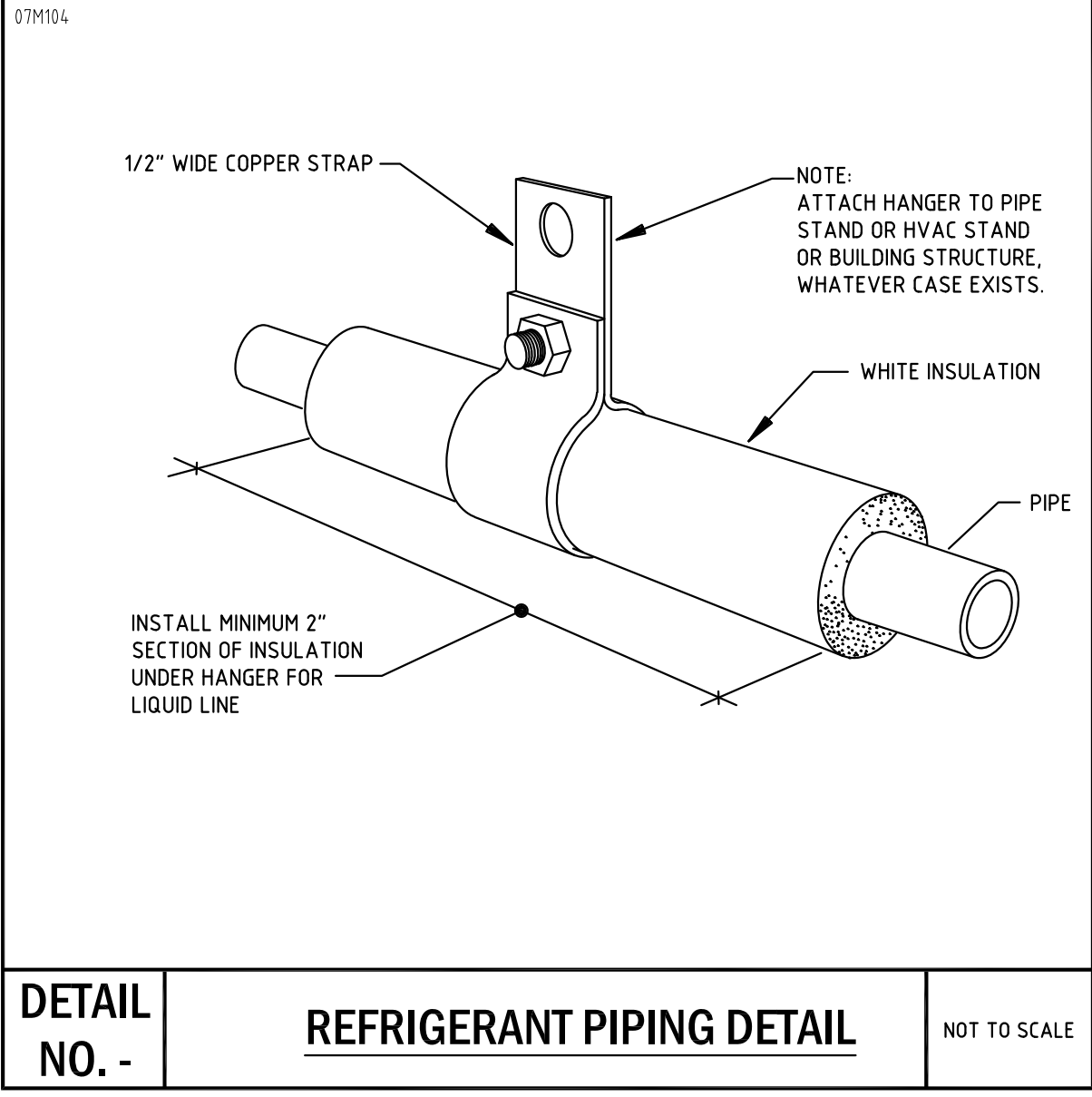
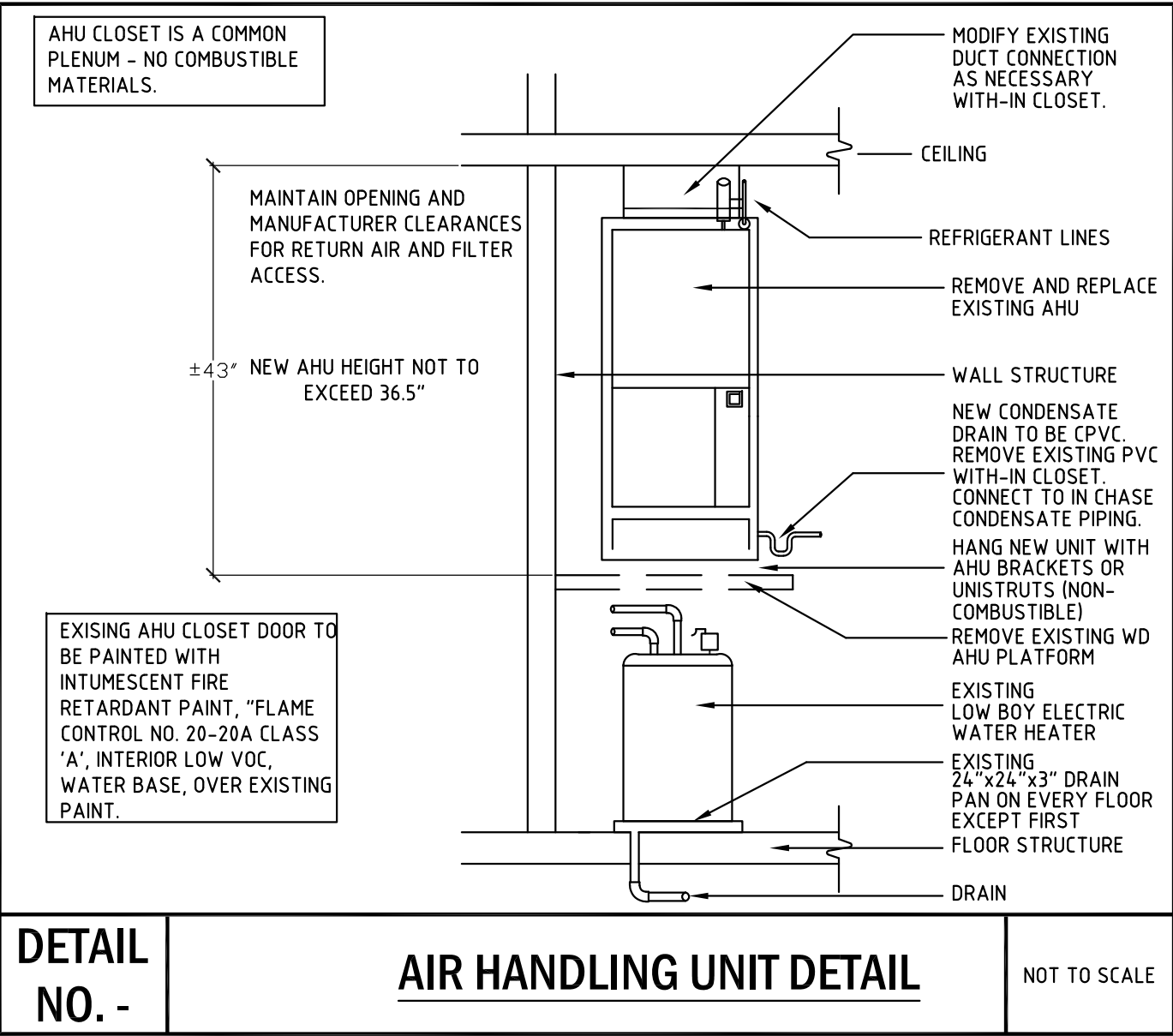
PROJECT NO. 20719

SHEET

NORTH
HVAC
LEVEL FOUR

M2.1

AIR CONDITIONING SYSTEM SCHEDULE		
UNIT NO.	AHU-TYP/CU-TYP	
LOCATION	MECHANICAL CLOSET	
MANUFACTURER (OR APPROVED EQUAL)	CARRIER	
TYPE	SPLIT	
NOMINAL TONNAGE	1.5	
TOTAL BTU	18,000	
SENSIBLE BTU	13,000	
E.A.T. DB/WB, °F	75.0/63.0	
L.A.T. DB/WB, °F	55.0/54.5	
SEER	14.0	
INDOOR UNIT DATA	MODEL NO.	FMA4X1800AL
	CFM	589
	E.S.P., IN	0.5
	T.S.P., IN	1.0
	V/PH/HZ	230/1/60
	ELECTRIC HEAT KW	5
	MCA	28.3
	MOCP	30
	MOTOR HP	1/3
	DIMENSIONS, IN (LxWxH)	23 x 25 x 60
OUTDOOR UNIT DATA	WEIGHT, lbs.	207
	MODEL NO.	24VNA048A003
	V/PH/HZ	208/230-1-60
	MCA	11.7
	MOCP	20.0
	DIMENSIONS, IN (LxWxH)	23.1 x 23.1 x 24.8
REMARKS:		
1) VERIFY ALL A/C ELECTRICAL REQUIREMENTS WITH MANUFACTURERS SPEC. PRIOR TO INSTALLATION.		
2) PROVIDE R-410A REFRIGERANT		
3) PROVIDE MANUFACTURER SPECIFIED PULL DISCONNECTS AT AHUS.		
4) See HVAC Key Note 9, sheet A4.0 for T-stat		
5) REFRIGERANT LINE SIZE BASED ON 0-80 FT. TOTAL EQUIVALENT LENGTH. PROVIDE LONG LINE ACCESSORIES WHERE REQUIRED. SEE MANUFACTURERS SPECIFICATIONS		
6) N/A		
7) PROVIDE AHUS WITH MERV 13 FILTERS.		
8) TOTAL STATIC PRESSURE INCLUDES FILTER LOSS OF 0.5 IN. W.C. FOR DIRTY PRE-FILTER CONDITIONS		
9) CONDENSER COILS AND INTERNAL HVAC COMPONENTS SHALL HAVE MODINE 'INSITU ES2', OR EQUAL, WATER-BASED SYNTHETIC POLYMER COATING WITH EMBEDDED STAINLESS STEEL PIGMENT SPRAY-APPLIED CORROSION COATING WITH NO MATERIAL BRIDGING BETWEEN FINIS. COATING SHALL HAVE COMPLETED 10,000 HOURS ASTM B117-07 SALT SPRAY TESTING.		



Contractor to submit an independent EXTENDED 10 YR WARRANTY for ALL PARTS AND LABOR for each apartment address. This warranty shall be submitted at the second to last payment of the project. In addition to this exented warranty the Contractor shall register the HVAC equipment with the original manufacturer within 30 days of installation for each apartment unit. Proof of this manufacturer registration shall be submitted upon the 100% installation billing of each HVAC unit.

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MECHANICAL DETAILS AND SCHEDULE

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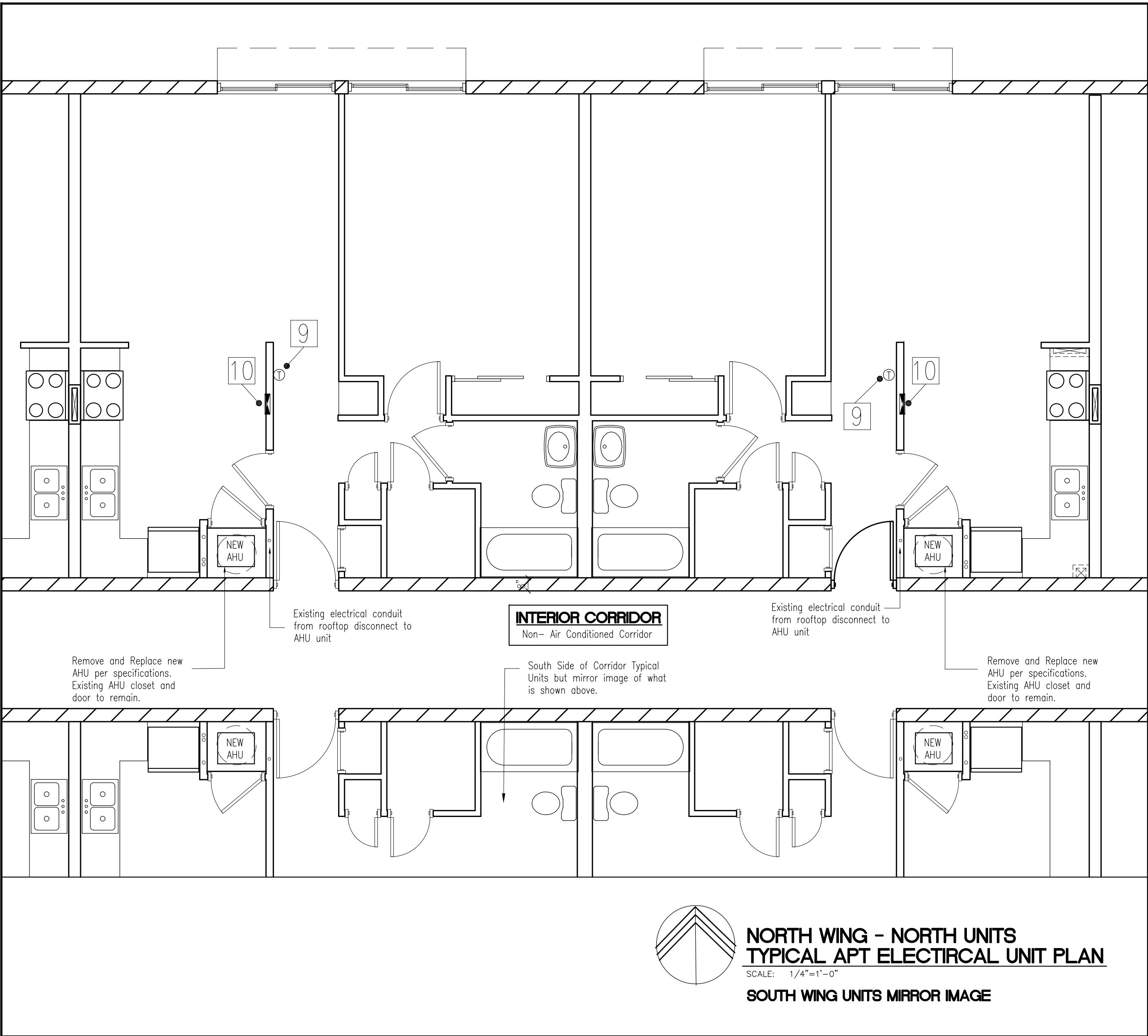
SCALE AS SHOWN

PROJECT NO. 20719

SHEET

MECH. DETLS
+ SCHEDULE

M3.0



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TYPICAL UNIT - ELECTRIC
PBCHA - DREXEL SENIOR BUILDING
FLAT DECK AND APT HVAC REPLACEMENT
1745 DREXEL ROAD, WEST PALM BEACH, FLORIDA 33417

SUBMITTAL DATES

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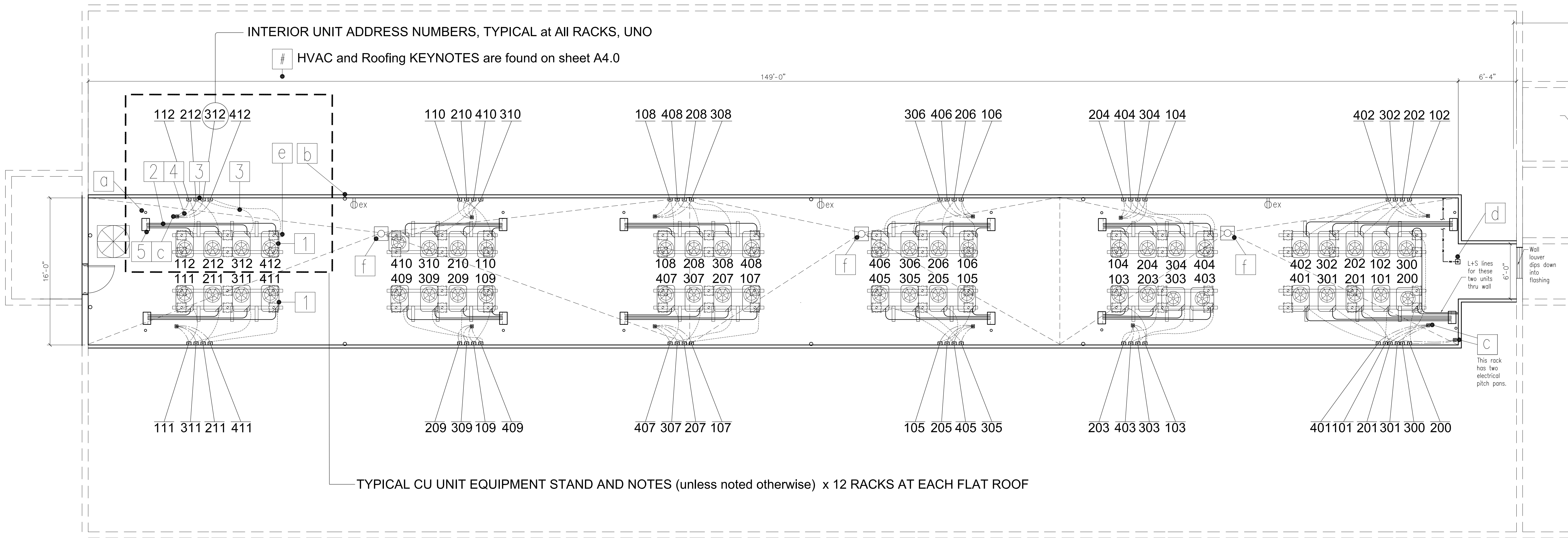
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TYPICAL APT
UNIT
ELECTRIC
E1.0

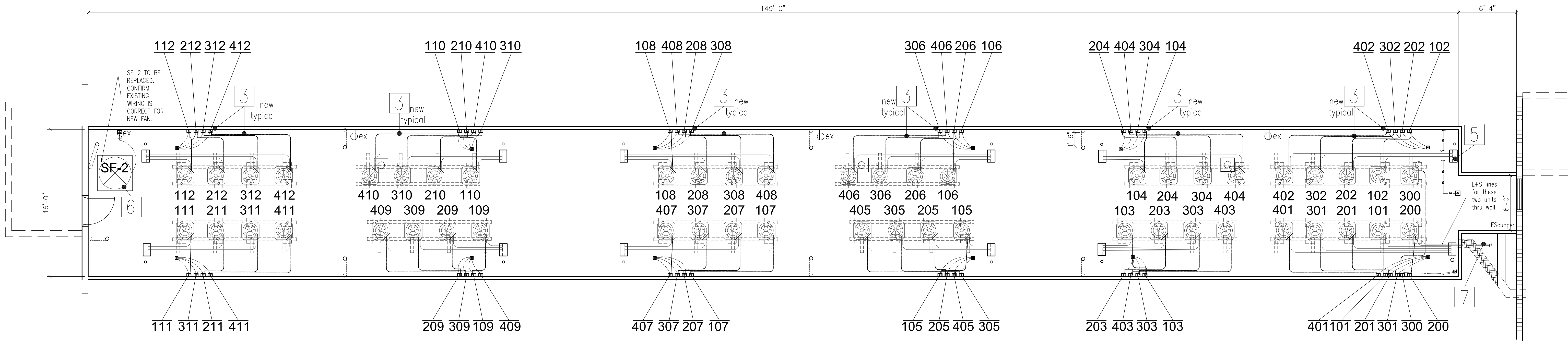


TYPICAL CU UNIT EQUIPMENT STAND AND NOTES (unless noted otherwise) x 12 RACKS AT EACH FLAT ROOF

EXISTING
NORTH DECK LEVEL FOUR
SCALE: 3/16"=1'-0"

1 A2.2 2 A2.2 See Typical 4 and 5 Unit NEW A/C Stands Sheet A2.2

SEE A2.1 DRAWING FOR AC RACK PLACEMENT ON ROOF



NEW
ELECTRICAL WORK TO
NORTH DECK LEVEL FOUR
SCALE: 3/16"=1'-0"

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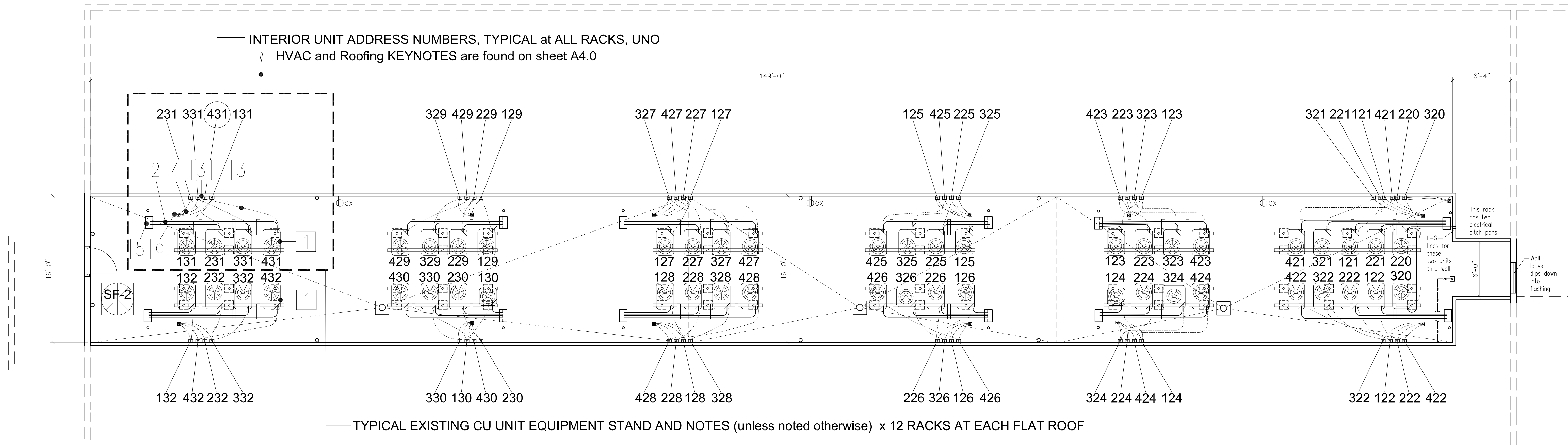
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North Building Electric
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SEE A4.0 FOR KEY NOTES

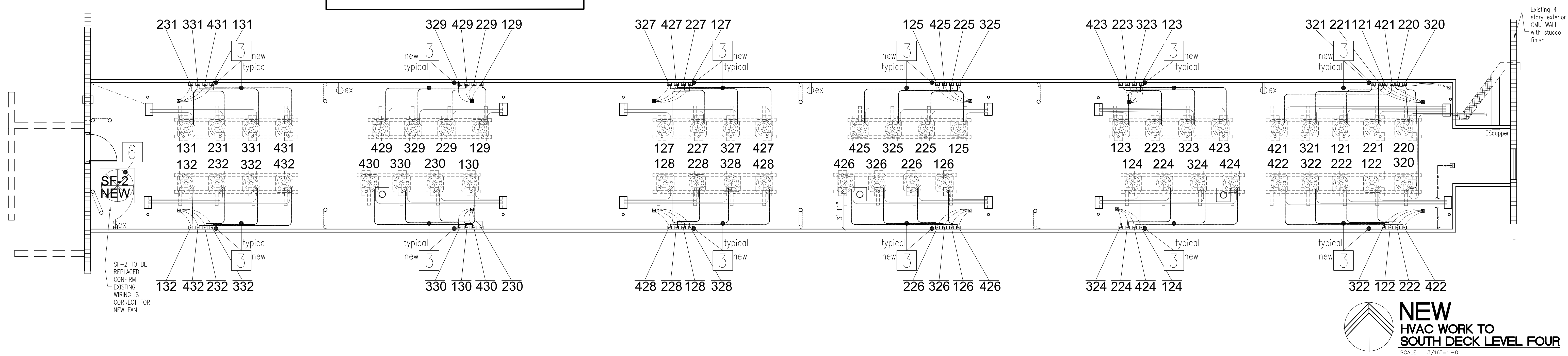
ELECTRICAL NOTES

Air Handler

- Remove existing air handler and disconnect and replace with new in same location.
- Existing AHU mounting platform to be removed and new unit is to be installed with noncombustible mounting racks.
- All conduits to AHU shall be net combustible (metal or cpvc).
- Replace existing breaker in panel with a 2p-30A HACR rated circuit breaker.
- Based on existing electrical plans, the existing conduit and wire, 2#8's in a 3/4" conduit, are sufficient for new equipment, and the load is equivalent or less.
- Contractor to field verify existing conditions to ensure compliance. If field conditions vary from existing documentation, then the contractor must submit a formal RFI to architect of record. If new location is in variance of existing or existing branch circuit feeders are not long enough, contractor to intercept in new junction box and extend as required.
- New 24/7 programmable t-stat to replace existing t-stat. T-stat display to have LARGE numbers.

Condensing Units

- Remove and replace the existing condensing unit as shown and located on NEW HVAC PLAN.
- Remove and replace the existing disconnect switch with new 2p-30A rated disconnect with fuses as recommended by equipment manufacturer. Disconnect shall be Square D or equivalent, with a Nema-3R enclosure.
- New disconnect box AND the new CU shall be labelled with CU's apt number.
- Replace existing condensing unit breaker in panel with a 2p-20A HACR rated circuit breaker.
- Based on the existing electrical plans, the existing conduit and wire, 2#10's in a 3/4" conduit, are sufficient for new equipment, and the load is equivalent or less.
- Contractor to field verify existing conditions to ensure compliance. If field conditions vary from existing documentation, then the contractor must submit a formal RFI to architect of record. If new location is in variance of existing or existing branch circuit feeders are not long enough, contractor to intercept in new junction box and extend as required.



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South Building **ELECTRIC**
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**SOUTH ELEC
LEVEL FOUR**

E2.2